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PLANNING COMMITTEE

Tuesday, 21st July, 2015 at 7.30 pm
Venue: Conference Room,
The Civic Centre, Silver Street,
Enfield, Middlesex, EN1 3XA

Contact: Jane Creer / Metin Halil
Committee Administrator
Direct : 020-8379-4093 / 4091
Tel: 020-8379-1000
Ext: 4093 / 4091

E-mail: jane.creer@enfield.gov.uk
metin.halil@enfield.gov.uk
Council website: www.enfield.gov.uk

MEMBERS

Councillors : Toby Simon (Chair), Derek Levy (Vice-Chair), Dinah Barry,
Christiana During, Ahmet Hasan, Jansev Jemal, George Savva MBE,
Lee Chamberlain, Jason Charalambous, Dogan Delman, Christine Hamilton and
Anne-Marie Pearce

**N.B. Any member of the public interested in attending the meeting
should ensure that they arrive promptly at 7:15pm**

**Please note that if the capacity of the room is reached, entry may not be
permitted. Public seating will be available on a first come first served basis.**

**Involved parties may request to make a deputation to the Committee by
contacting the committee administrator before 12:00 noon on 20/07/15**

AGENDA – PART 1

- 1. WELCOME AND APOLOGIES FOR ABSENCE**
- 2. DECLARATION OF INTERESTS**

Members of the Planning Committee are invited to identify any disclosable pecuniary, other pecuniary or non pecuniary interests relevant to items on the agenda.

- 3. MINUTES OF THE PLANNING COMMITTEE 30 JUNE 2015 (Pages 1 - 6)**

To receive the minutes of the Planning Committee meeting held on Tuesday 30 June 2015.

4. MINUTES OF THE PLANNING PANEL 10 JUNE 2015 - ALMA ESTATE REGENERATION (Pages 7 - 14)

To receive the minutes of the Planning Panel meeting held on Wednesday 10 June 2015.

5. REPORT OF THE ASSISTANT DIRECTOR, PLANNING, HIGHWAYS AND TRANSPORTATION (REPORT NO. 50) (Pages 15 - 16)

To receive the covering report of the Assistant Director, Planning, Highways & Transportation.

5.1 Applications dealt with under delegated powers. (A copy is available in the Members' Library.)

6. 15/00659/FUL - HOUNDSFIELD PRIMARY SCHOOL, RIPON ROAD, LONDON, N9 7RE (Pages 17 - 34)

RECOMMENDATION: Approval subject to conditions
WARD: Jubilee

7. 15/01513/FUL - 46 AND 48 LANCASTER AVENUE, BARNET, EN4 0ET (Pages 35 - 64)

RECOMMENDATION: Refusal
WARD: Cockfosters

8. 15/01788/RE4 - ORCHARDSIDE NURSERIES, BULLSMOOR LANE, ENFIELD, EN1 4RL (Pages 65 - 122)

RECOMMENDATION: Approval in accordance with Regulation 4 of the Town and Country Planning General Regulations 1992 subject to conditions
WARD: Chase

9. 15/01975/RE4 - NURSERY LAND TO SOUTH OF SALMONS BROOK, GREAT CAMBRIDGE ROAD, LONDON, N9 9SH (Pages 123 - 132)

RECOMMENDATION: That planning permission be deemed to be granted in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992 subject to conditions.
WARD: Bush Hill Park

10. 15/02095/RE4 - FIRS FARM PLAYING FIELDS, FIRS LANE, LONDON, N21 2PJ (Pages 133 - 142)

RECOMMENDATION: That planning permission be deemed to be granted in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992 subject to conditions.
WARD: Bush Hill Park

11. S106 AGREEMENTS - MONITORING INFORMATION (REPORT NO. 51)
(Pages 143 - 190)

INF

To receive the report of the Director of Regeneration and Environment providing an update on the monitoring of Section 106 Agreements (S106) and progress on Section 106 matters during the period 1 April 2014 to 31 March 2015.

12. APPEAL INFORMATION

Monthly decisions on Town Planning Application Appeals.
(The update will be provided at the meeting.)

13. EXCLUSION OF THE PRESS AND PUBLIC

If necessary, to consider passing a resolution under Section 100A(4) of the Local Government Act 1972 excluding the press and public from the meeting for any items of business moved to part 2 of the agenda on the grounds that they involve the likely disclosure of exempt information as defined in those paragraphs of Part 1 of Schedule 12A to the Act (as amended by the Local Government (Access to Information) (Variation) Order 2006).
(There is no part 2 agenda)

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PLANNING COMMITTEE - 30.6.2015

**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON TUESDAY, 30 JUNE 2015**

COUNCILLORS

PRESENT Dinah Barry, Lee Chamberlain, Jason Charalambous, Christine Hamilton, Ahmet Hasan, Derek Levy, Anne-Marie Pearce, George Savva MBE and Toby Simon

ABSENT Dogan Delman, Christiana During and Jansev Jemal

OFFICERS: Sharon Davidson (Planning Decisions Manager), Bob Griffiths (Assistant Director - Planning, Highways & Transportation), Izabella Grogan (Legal Services), Andy Higham (Head of Development Management) and David B Taylor (Transportation Planning), Jane Creer (Secretary)

Also Attending: Approximately 35 members of the public, applicant and agent representatives
Councillor Terry Neville, Grange Ward Councillor
Councillor Ertan Hurer, Winchmore Hill Ward Councillor
Dennis Stacey, Chair – Conservation Advisory Group

25**WELCOME AND APOLOGIES FOR ABSENCE**

Councillor Simon, Chair, welcomed all attendees and explained the order of the meeting.

Apologies for absence were received from Councillors Delman, During and Jemal.

Apologies for lateness were received from Councillor Charalambous.

26**DECLARATION OF INTERESTS****NOTED**

1. Councillor Charalambous advised in relation to application 15/00765/VAR – 20 Crescent West, Enfield, EN4 0EJ, that he had previously made written statements in the press supporting the retention of these premises as a dry cleaners and had also signed a petition to this effect, and, having taken advice from the Legal Services officer, had concluded that his previous actions could give the perception of pre-determination. Therefore he would not participate in the debate or vote on the application, but would address the committee as ward councillor.
2. Councillor Pearce advised that she had knowledge of application 15/00765/VAR – 20 Crescent West, Enfield, EN4 0EJ, had discussed her

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position with the Legal Services officer, and confirmed that she had an open mind on the decision.

3. Councillor Chamberlain advised that he had been approached by a representative of the local residents' association about committee processes in relation to application 14/04027/HOU – 27 Private Road, Enfield, EN1 2EH, and confirmed that he approached the decision with an open mind.

27

MINUTES OF THE PLANNING COMMITTEE 21 MAY 2015

AGREED the minutes of the Planning Committee meeting held on 21 May 2015 as a correct record.

28

REPORT OF THE ASSISTANT DIRECTOR, PLANNING, HIGHWAYS AND TRANSPORTATION (REPORT NO. 22)

RECEIVED the report of the Assistant Director, Planning, Highways and Transportation (Report No. 22).

29

ORDER OF THE AGENDA

AGREED that the order of the agenda be varied to accommodate members of the public in attendance at the meeting and councillor commitments. The minutes follow the order of the meeting.

30

14/04027/HOU - 27 PRIVATE ROAD, ENFIELD, EN1 2EH

NOTED

1. The introduction by the Planning Decisions Manager, highlighting the key issues for Members to consider.
2. Further comments had been submitted from the occupiers of no. 25 Private Road and circulated to Members.
3. The inclusion of an additional condition requiring the window to the side facing dormer (facing no. 25) to be fitted with obscured glass.
4. The statement of Councillor Terry Neville, Grange Ward Councillor.
5. The response of Mr Craig Driver, Director, Hoopers Architects Ltd, agent for the applicant.
6. The comments of Dennis Stacey on behalf of Conservation Advisory Group (CAG).
7. Councillor Barry would abstain from the vote as she had been a member of CAG at the time that this application was considered.
8. Members' discussion and questions responded to by officers.
9. Following a debate, the officers' recommendation was approved by the majority of the Committee: 5 votes for, 2 votes against and 1 abstention.

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AGREED that planning permission be granted, subject to the conditions set out in the report and the additional condition above.

31

15/01077/FUL - 34 HOUNSDEN ROAD, LONDON, N21 1LT

NOTED

1. The introduction by the Planning Decisions Manager.
2. A correction to the report that the incomplete sentence in paragraph 6.2.2 should read "The resulting density is therefore in excess of the recommendations", noting that a numerical assessment of density must not be the sole test of acceptability for development proposals.
3. The deputation of Mr David Valentine, neighbouring resident.
4. The statement of Councillor Ertan Hurer, Winchmore Hill Ward Councillor.
5. The response of Ms Jessica Barnes, on behalf of Domenico Padalino, DPA (London) Ltd, the agent.
6. Following a debate, the officers' recommendation was approved by the majority of the Committee: 6 votes for and 2 votes against.

AGREED that planning permission be granted, subject to the conditions set out in the report.

32

15/01076/FUL - 5A ST GEORGES ROAD, LONDON, N13 4AT

NOTED

1. The introduction by the Planning Decisions Manager, covering applications 15/01076/FUL and 15/01088/FUL, with the key differences highlighted.
2. Since the agenda was issued, additional drawings had been received seeking to clarify a number of matters raised by the occupier of the ground floor flat during consultation. These drawings did not change the nature of the application but sought to address concerns raised that the height of the eaves and ridge of the roof were being raised. The up to date drawings were included in the presentation. The occupier of the ground floor flat had been provided with a copy of these drawings. Her comments, and the response of the applicant were reported.
3. The deputation of Mr Angelo Montalto, agent on behalf of the applicant, and Mr Neil Wrynn (neighbour opposite at no.4).
4. Receipt of a 141 signatory petition in support of the application, gathered by the applicant.
5. Councillor Charalambous arrived at this point, but having missed the introduction, would not vote on the applications.
6. Members' debate, and questions responded to by officers.
7. A majority of the committee did not support the officers' recommendation of refusal: 6 votes against and 2 abstentions
8. Final determination of the application was adjourned to allow consideration of application 15/01088/FUL before making a decision.

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9. A proposal that delegated authority be given to officers to grant planning permission, subject to appropriate conditions, was supported by a majority of the committee: 6 votes for and 2 abstentions.

AGREED that Members resolved to grant officers delegated authority to grant planning permission subject to conditions and for officers to draft appropriate conditions.

33

15/01088/FUL - 5A ST. GEORGES ROAD, LONDON, N13 4AT

NOTED

1. The introduction by the Planning Decisions Manager of the previous application 15/01076/FUL had also covered application 15/01088/FUL.
2. Clarification that the side dormer did not form part of this application.
3. The additional drawings received seeking to clarify a number of matters raised by the occupier of the ground floor flat during consultation applied equally to applications 15/01076/FUL and 15/01088/FUL.
4. The deputation of Ms Breda McIver, neighbouring resident.
5. The response of Mr Angelo Montalto, the agent on behalf of the applicant.
6. Members' debate, and questions responded to by officers.
7. The officers' recommendation of approval was supported by a majority of the committee: 7 votes for and 1 abstention.

AGREED that planning permission be granted, subject to the conditions set out in the report.

34

14/05030/FUL - 405 COCKFOSTERS ROAD, BARNET, EN4 0JS

NOTED

1. The introduction by the Planning Decisions Manager.
2. Concerns had been raised by adjoining residents about consultation on the earlier refused application. The records confirmed that letters were issued to 401, 403, 407 and 409 Cockfosters Road and the Hadley Wood Golf Club who abut the site to the rear. These same addresses were notified of this planning application.
3. The deputation of Ms Renee Landau, neighbouring resident.
4. The response of Mr Stephen Birrell, Andmore Planning, the agent on behalf of the applicant.
5. Members' debate and queries responded to by officers.
6. The officers' recommendation was supported by the committee: 8 votes for and 1 abstention.

AGREED that planning permission be granted, subject to the conditions set out in the report.

35

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15/00765/VAR - 20 CRESCENT WEST, ENFIELD, EN4 0EJ

NOTED

1. The introduction by the Planning Decisions Manager, including details regarding two previously submitted prior approval applications, and clarification of the issue for Members to consider.
2. The deputation of Mr Kam Kotecha, on behalf of Sharad and Bharti Modi, tenants of 20 Crescent West.
3. The statement of Councillor Jason Charalambous, Cockfosters Ward Councillor, following which he took no part in the debate or vote.
4. The response of Mr Mustafa Kaya, the landlord and applicant.
5. Members' debate, and queries responded to by officers.
6. Councillor Pearce's statement that she would abstain from voting.
7. The officers' recommendation was supported by a majority of the committee: 6 votes for, 1 against and 1 abstention.

AGREED that planning permission be deemed to be granted and condition 03 of ref: TP/80/1295 be removed.

36

15/01938/RE4 - 1-30 LAWSON ROAD, ENFIELD, EN3 5XJ

NOTED

1. The final four applications, relating to existing residential blocks on the Lytchet Way Estate, were debated together, with individual votes taken on each application.
2. The introduction by the Planning Decisions Manager.
3. The text at para 6.3.14 of each report had been superseded by that already circulated to Members, which states:
While it is clear that some of the units do fall below specified standards for 2-bed, 4-person flats, the difference in each case is marginal and consideration must be given to the functionality of the associated spaces that belie a simple numerical analysis. In this regard, and having reviewed the nature of the spaces provided, it is clear that the units would achieve minimum size standards advocated by the Housing SPG for each of the stated rooms, with a number of the living / dining rooms exceeding relevant thresholds and the provision of two functional bedrooms. Regard must also be given to the constraints inherent in utilising the existing building footprint and the need to ensure that the flats could utilise the existing core. In this regard, it is considered that the units provide functional and usable space that in terms of individual rooms achieve specified standards and hence the nature of the spaces created is such that an exception to specified standards can in this instance be justified.
4. The table on page 150 of the report, para 6.3.13 contained an error – Flat B and Flat C should in fact be 2b4p units, not 1b2p as stated.
5. Members' comments, and queries responded to by officers.
6. The support of the committee for the officers' recommendation: 8 votes for and 1 abstention.

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AGREED that planning permission be deemed to be granted in accordance with Regulation 3 of the Town & Country Planning General Regulations 1992, subject to the conditions set out in the report.

37

15/01939/RE4 - 31-60 LAWSON ROAD, ENFIELD, EN3 5XJ

NOTED the support of the committee for the officers' recommendation: 8 votes for and 1 abstention.

AGREED that planning permission be deemed to be granted in accordance with Regulation 3 of the Town & Country Planning General Regulations 1992, subject to the conditions set out in the report.

38

15/01940/RE4 - 2-72 OLD ROAD, ENFIELD, EN3 5XZ

NOTED the unanimous support of the committee for the officers' recommendation.

AGREED that planning permission be deemed to be granted in accordance with Regulation 3 of the Town & Country Planning General Regulations 1992, subject to the conditions set out in the report.

39

15/02057/RE4 - 74-144 OLD ROAD, ENFIELD, EN3 5XZ

NOTED the support of the committee for the officers' recommendation: 8 votes for and 1 abstention.

AGREED that planning permission be deemed to be granted in accordance with Regulation 3 of the Town & Country Planning General Regulations 1992, subject to the conditions set out in the report.

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APPEAL INFORMATION

NOTED the verbal update from the Head of Development Management on the monthly decisions on Town Planning Application Appeals: that there had been eight appeal decisions, in which the Council had been successful in six, which was a 75% success rate.

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PLANNING COMMITTEE DATES FOR 2015/16

NOTED the dates for Planning Committee for the 2015/16 Municipal year.

PLANNING PANEL - 10.6.2015

**MINUTES OF THE MEETING OF THE PLANNING PANEL
HELD ON WEDNESDAY, 10 JUNE 2015**

COUNCILLORS**PRESENT**

Toby Simon, Dogan Delman, Jansev Jemal and George Savva MBE

OFFICERS:

Andy Higham (Head of Development Management), Sharon Davidson (Planning Decisions Manager), Andrew Ryley (Senior Planning Officer), Ned Johnson (Environment and Street Scene), David B Taylor (Head of Traffic and Transportation), Denny Adam (Interim Project Manager) and Andrew Wilson (Development & Estate Renewal) Jane Creer (Secretary) and Metin Halil (Secretary)

Also Attending:

Applicant / Agent representatives:
Leigh Bullimore – Pollard Thomas Edwards (Architects)
Robert Wilkinson – Countryside Properties
Rosie Baker – Terence O'Rourke (Planning)
Robert Parker – Peter Brett Associates (Highways)

Ponders End Ward Councillors: Cllr Doug Taylor, Cllr Ayfer Orhan, Cllr Donald McGowan

Approximately 30 members of the public / interested parties

1**OPENING**

1. Councillor Simon as Chair welcomed everyone to the meeting and the Panel Members, the Council officers and the applicant's representatives introduced themselves.
2. A mix-up had led to Councillor Chamberlain's name being included on the panel, but he had never been able to attend this meeting.
3. The purpose of the meeting was an opportunity for councillors to listen and understand issues about the application and to enable members of the public to contribute to the planning process.

2**OFFICERS' SUMMARY OF THE PLANNING ISSUES**

1. Sharon Davidson, Planning Decisions Manager, confirmed that the purpose of this meeting was not to make a decision on the applications, but for interested parties to ask questions and give their opinions on the proposals.

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2. There were two applications for consideration. One was an outline application for the totality of the estate and the additional sites. This sought permission for the principle of the development, the demolition of existing buildings, and the erection of the residential-led scheme including shops, café, gym, outside spaces and community facilities. The second was a detailed application for Phase 1A of the scheme which provided for the demolition of Kestrel House and the construction of the first 228 residential units, restaurant/café, gym, and open space and play facilities, and parking, highway and ancillary works. The application included the construction of a 16-storey building adjacent to Ponders End station and the erection of buildings ranging from 5 to 7 storeys fronting Alma Road.
3. The key planning issues were likely to be:
 - The quantity, design, scale and height of the proposed development.
 - The mix of residential accommodation proposed and the level of affordable housing.
 - The level of parking proposed.
 - The level of retail and community facilities proposed.
 - The proposed phasing of the development and the timescales for the provision of the retail, open space and community facilities.
 - The impact of demolition and construction works on existing and adjoining residents, and on existing parking and access arrangements.

3

PRESENTATION BY THE APPLICANT/AGENT

1. Leigh Bullimore (Pollard Thomas Edwards, Architects) led the presentation of the proposals, illustrated with slides.
2. The applicant was Countryside Properties. Their core business was urban renewal and developing large quantities of housing. They had been working in partnership with Enfield Council and with Newlon Housing who would be the shared provider of social housing.
3. Alma Estate was a typical estate of its era with problems including housing in poor condition, crime and anti-social behaviour, and poor quality public space at ground floor level.
4. The Council had made the decision to regenerate the estate, following consultation, in 2012. The regeneration vision was to totally transform the estate by providing streets and open spaces that connected together and an area that people would enjoy, with mixed homes and community and complementary facilities.
5. This regeneration was part of a wider regeneration of Ponders End. Other schemes in the area included the Electric Quarter, Oasis Academy, improvements to the High Street, and Cycle Enfield.
6. Planning application 15/02039/OUT was the outline for the entire estate, covering the layout, the quantum of development and the height.

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Application 15/02040/FUL was the detailed application for Phase 1A. If successful, further applications would come forward. Presenting these two applications at the same time would speed up the regeneration process.

7. Phase 1A should be completed in Winter 2017, with the entire regeneration completed by 2026. The timescale was partly to do with the regeneration occurring while people were also living there.
8. The masterplan design had evolved via an extensive programme of engagement with residents which included workshop evenings, coach trips and estate walks. This had been considered a successful and enjoyable process and had impacted greatly on the design.
9. There had also been extensive consultations with Enfield Council Planners and other departments including Transport. There had been consultation with the Greater London Authority, with positive feedback, and there had been a series of 'Secure by Design' meetings with the Police, and consultation with Ponders End Youth Centre, Welcome Point Centre and the Ponders End Partnership.
10. At the bid stage, the satellite sites had been incorporated into the plan, including provision of new buildings for Ponders End Youth Centre and Welcome Point Centre.
11. The key principles of the masterplan were:
 - a) Total transformation of the estate.
 - b) Redistribution of the density of the population and a more efficient street network.
 - c) Better distribution of open space, to give everyone access to green space.
 - d) Connection of the streets back together in a more conventional way.
 - e) Reinvention of South Street as a hub for the local neighbourhood, as a main road, with maximum frontage.
 - f) New arrival at Ponders End and new Station Square.
 - g) A range of different types of buildings in different tenures, leading to more sustainable communities.
 - h) Strengthening of connections in the wider area.
12. The mix of residential accommodation would balance regeneration objectives and planning policies. Of the 993 homes, 200 would be Council homes, 199 intermediate and 594 market sale homes. This would lead to a more mixed community as well as paying for the regeneration. There would be a distribution of tenures throughout the scheme and the aim was to make it impossible to tell the difference.
13. Other schemes in the area, including Dujardin Mews, would also be used to help with decanting of residents of Alma Estate.
14. There would be reprovision of the existing shopping parade, and new medical centre, restaurant/café and youth and community centre.

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15. The development would be completed in phases and sub-phases. As each new phase was built that would enable people to be decanted.
16. The development would offer high sustainability and energy efficiency. An assessment accompanied the planning application. A district heating system was proposed and in the future that would connect with the Lea Valley Heat Network.
17. There would be landscape design and a comprehensive strategy with different open spaces and play spaces and new public space.
18. Work with Peter Brett Associates consultants had developed the transport strategy. A 0.6 parking ratio was proposed: this was similar to the existing situation. All parking would be at surface level. Vehicle movements would connect in traditional streets. There was a strategy for traffic calming and one-way streets, and prevention of use of roads as rat runs.
19. Computer-generated images were shown of the proposals. The area would read as one neighbourhood, but the parts would have their own character and context. South Street would be the major route, there would be a new arrival at Station Square, and Alma Road would change quite radically with new buildings facing the road. Napier Road could connect back to Scotland Green Road. There would be a new community hub. The idea of communal gardens had been liked by residents.
20. The Phase 1 application covered the area where Kestrel House and two maisonette blocks now stood. This was the most dense part of the scheme. By building more homes in the first phase, this would help with moving people out more quickly. 228 housing units were proposed: 97 social rent, 35 shared ownership, and 96 private sale. There was more information on the appearance in the planning application documents, but Alma Road would have contemporary mansion blocks while the landmark building would be sculptural and designed to be viewed from different angles and to give a feeling of safety particularly at night. The gym was also in that location and would attract users in the early morning and in the evening and would be overlooked by the surrounding residences.
21. Supporting planning documents identified social, economic and environmental benefits of the scheme.

4

QUESTIONS BY PANEL MEMBERS

NOTED the following questions and observations from Members of the Panel:

1. Councillor Simon asked whether there would be children's play space and equipment within the communal garden areas. It was advised that the proposal was for informal play in the communal gardens close to people's

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homes eg. boulders. The wider play strategy included play spaces for different age groups open to the whole community.

2. Councillor Delman noted that the current number of units on the estate was 746 and asked how many were social housing. It was advised that there were currently 556 social rented houses on the estate.
3. In response to Councillor Simon's further query it was confirmed that everybody currently housed in a social rent property would be offered similar accommodation here or off site.
4. In response to Councillor Delman's queries about involvement of stakeholders and residents, the consultation work was highlighted and that the detailed design layouts of apartments had been developed in consultation with the residents and influenced by feedback received. Each individual application would go through a similar process.
5. Councillor Savva wished to record credit to the applicants and tenants for working well together and creation of a good partnership with the community, and he was pleased to see the tenants' support for the proposals. He also congratulated officers, and ward councillors, and Councillor Ahmet Oykenar (Cabinet Member for Housing and Housing Regeneration) for their involvement and hard work. He also supported S106 provision for healthy living facilities and a clinic.
6. Councillor Simon asked whether the application sought anything which deviated from agreed planning policies. Sharon Davidson, Planning Decisions Manager, highlighted that a key aspect was the overall mix of accommodation. The number of two-bedroom units proposed would be assessed. The distancing between blocks was slightly less than DMD standards, but window displacement was being looked at in mitigation. The applicants confirmed that the Council homes mix was driven by the Council's surveys. In respect of intermediate and private homes, Countryside Properties had significant experience selling flats and houses in Enfield, and strong market research showed demand for one and two bedroom apartments compared to three beds.
7. Councillor Simon asked what the Section 106 contributions were likely to cover, including non financial elements. It was advised that the benefits from a scheme of this scale would be significant, including affordable housing, traffic and highway improvements on and off site, contributions to education, open space and the public realm, securing the management company and securing the energy centre. Countryside Properties also wanted to introduce an employment and skills programme.

**5
QUESTIONS BY WARD COUNCILLORS**

NOTED the following questions and observations from Ward Councillors:

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1. Councillor Orhan stressed the importance of outdoor play space for young children for healthy living, and recommended that private space could easily lend itself for this. Parks and green gyms were also important and could be a stepping stone to local residents wanting to use the proposed gym as well. She emphasised local provision for local people.
2. Councillor Orhan asked about provision of disabled parking bays. It was confirmed there would be 60 disabled parking bays, which was around 10% of the total. There would also be five allocated car club spaces. Exact detail of the provision had not yet been worked out, but there would be some lifetime homes and there would be disabled parking related to those uses, and there would be disabled parking for visitors to the site as well as residents.

6

OPEN SESSION - QUESTIONS AND VIEWS FROM THE FLOOR

NOTED the following questions and observations from attendees:

1. A resident and Alma Residents' Association member expressed that there had been very good consultation by Countryside Properties. There had been ten workshops and residents had influenced the proposed buildings and styles. Some accommodation would be open plan, some with an open kitchen, etc. Everyone wanted an award-winning, well-built scheme. If the second stage progressed as the first had done it would be fantastic.

In response to his queries regarding number of Council tenants, it was confirmed that there were currently 200 and that there was an agreement in place with the Council that could allow the number of Council homes to go up if required, but the number was based on the assessed need based on two detailed surveys of residents.

2. Residents were pleased and wanted the scheme to be progressed now.
3. With regard to height of developments, residents expressed they would like to see greater height down Alma Road and asked for consideration of extra storeys and more social housing. Planning officers confirmed that the scheme was of a different density at the moment and the highest density was proposed close to the station – this was a good approach in terms of policy, including the London Plan. There was also the need to consider the impact on existing dwellings in Alma Road. Councillor Simon suggested that it may be possible to give further consideration in phases 2 and 3 or at reserved matters stage. He also raised that density standards may be affected if there were four rather than two trains per hour serving the station. The applicants advised that the density of 388 habitable rooms per hectare was within the appropriate range.
4. In response to a further query, it was confirmed that at its highest point, the development near the station would be 16 storeys, stepping down to 13 storeys. In contrast, the existing tower blocks were 23 storeys. It was

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also confirmed that the block would have two lifts, and that all flats would have a private amenity space with every home having a balcony, terrace or front garden.

5. An attendee welcomed the green spaces proposed, but asked whether the Council would undertake responsibility for their maintenance. It was advised that there would be a management company responsible for the management of the estate. (Residents would be responsible for private garden areas.) Alma Residents' Association was currently looking at putting together a resident-led management association. The funding would come from service charges.
6. Concerns were raised that most parking here was from outsiders using the station and asked if there were plans to deal with commuters parking. Robert Parker, transport consultant, advised that surveys had been carried out throughout the day and it had been found there tended to be a reduction in demand for parking on the estate in the day time. Quite a few people used cars to drop off children and use the station, but during the working day many people left the site. The peak demand for parking was overnight. Parking surveys had been done at 1:30am when the highest amount of parking was found, and that was what the 0.6 parking ratio was based on. It was confirmed that surveys took dispersal and the number of occupied units into account. Parking issues may need to be further considered if capacity improvements were made to the rail line. Council officers confirmed that the only way of getting a higher frequency train service would be by providing additional track. Delivery was some way off. Further in the future, Cross Rail may also have an effect.
7. An attendee asked what would happen to residents when buildings came down. It was confirmed that the phasing was designed to cope with this. Current residents had left Kestrel House and moved largely off the estate or to empty homes, and once the block was fully emptied, work would be allowed to start on Phase 1, which would in turn provide homes for those affected by Phase 2 and the development would move through the estate in that way.

7

CLOSE OF MEETING

1. The Chair thanked everyone for attending and contributing to the meeting.
2. The public consultation period was due to expire on Friday 19th June, and any additional comments should please be submitted to Development Control by that date.
3. Notes taken at this meeting would be appended to the Planning Officers' reports to be considered by the Planning Committee when the applications were presented for decision at a future meeting. The likely date when the applications would be considered by the Planning Committee was Tuesday 1 September 2015.

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4. A full report for each application would be prepared by Planning Officers for Planning Committee. This would form part of the agenda for the meeting and would be published on the Council's website at least a week before the meeting.
5. There was a deputation procedure whereby people could request to speak at the Planning Committee meeting: details were available on the Council website www.enfield.gov.uk or via the Planning Committee Secretary 020 8379 4093 / 4091 jane.creer@enfield.gov.uk or metin.halil@enfield.gov.uk and residents could also ask ward councillors to speak on their behalf.

MUNICIPAL YEAR 2015/2016 - REPORT NO **50**

COMMITTEE:
PLANNING COMMITTEE
30.06.2015

AGENDA - PART 1	ITEM 5
SUBJECT -	
MISCELLANEOUS MATTERS	

REPORT OF:
Assistant Director, Planning,
Highways and Transportation

Contact Officer:
Planning Decisions Manager
Sharon Davidson Tel: 020 8379 3841

5.1 APPLICATIONS DEALT WITH UNDER DELEGATED POWERS INF

5.1.1 In accordance with delegated powers, 205 applications were determined between 17/06/2015 and 12/07/2015, of which 153 were granted and 52 refused.

5.1.2 A Schedule of Decisions is available in the Members' Library.

Background Papers

To be found on files indicated in Schedule.

5.2 PLANNING APPLICATIONS AND APPLICATIONS TO DISPLAY ADVERTISEMENTS DEC

On the Schedules attached to this report I set out my recommendations in respect of planning applications and applications to display advertisements. I also set out in respect of each application a summary of any representations received and any later observations will be reported verbally at your meeting.

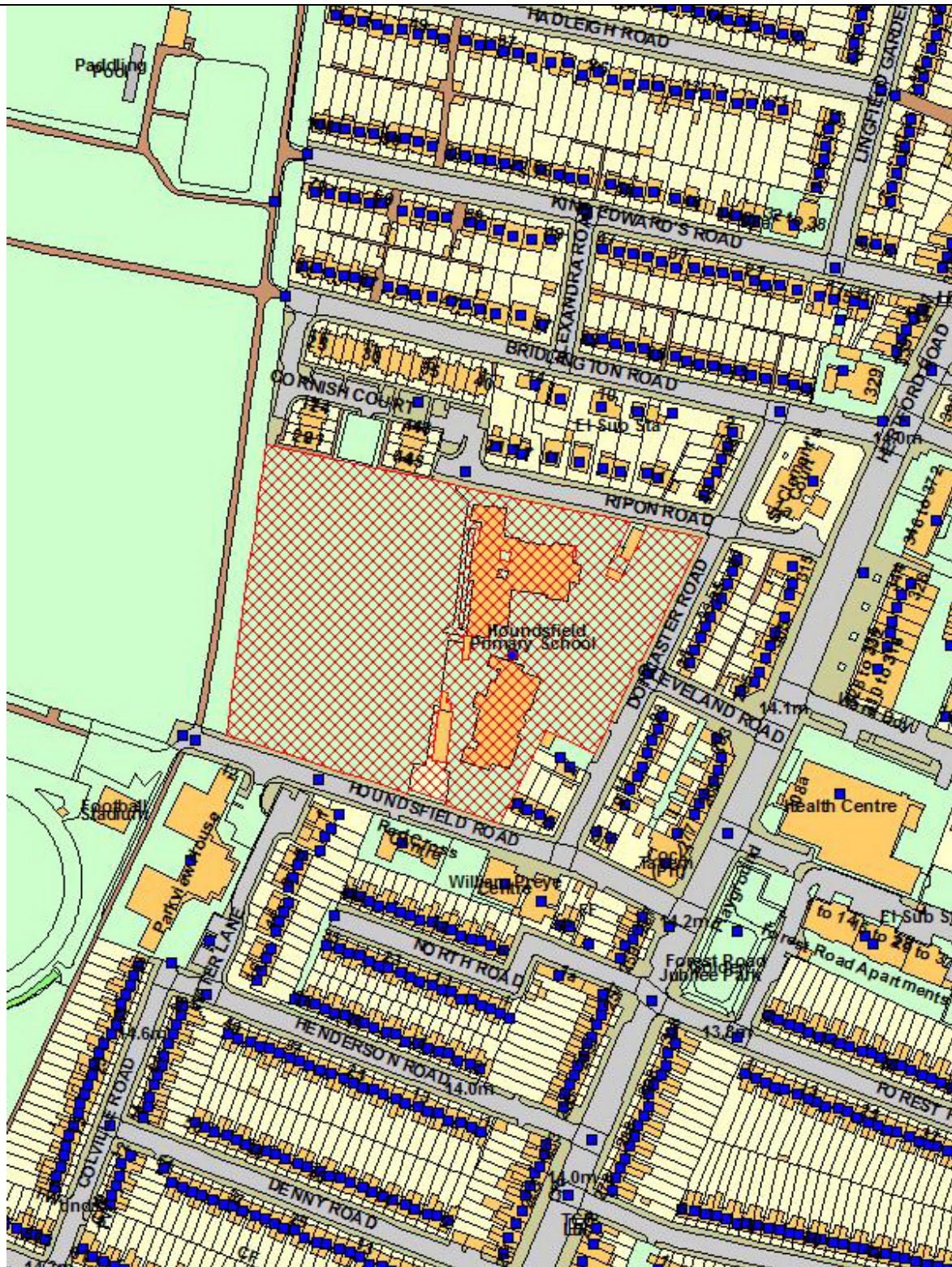
Background Papers

- (1) Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise. The development plan for the London Borough of Enfield is the Unitary Development Plan (UDP).
- (2) Other background papers are those contained within the file, the reference number of which is given in the heading to each application.

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LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE		Date : 21st July 2015
Report of Assistant Director, Planning, Highways & Transportation	Contact Officer: Andy Higham 020 8379 3848 Sharon Davidson 020 8379 3841 Mr Ray Reilly 020 8379 5237	Ward: Jubilee
Ref: 15/00659/FUL		Category: Full Application
LOCATION: Houndsfield Primary School, Ripon Road, London, N9 7RE		
PROPOSAL: Erection of a detached building to form a nursery.		
Applicant Name & Address: The Governors Ripon Road London N9 7RE	Agent Name & Address: Mr Aldo Dominger Wickhm House 464 Lincoln Road Enfield EN3 4AH	
RECOMMENDATION: That planning permission BE APROVED subject to conditions.		

Ref: 15/00659/FUL LOCATION: Houndsfield Primary School, Ripon Road, London, N9 7RE



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Scale 1:2500

North



1. Site and Surroundings

- 1.1 The application site is Houndsfield Primary School, which is located off Ripon Road and which flanks alongside Ripon Road to the north and Doncaster Road to the east. The school site is large, in excess of 1 hectare and consists of a number of individual buildings of single, two and three storey in height. There is a large playing pitch and other play facilities to the rear of the site. The buildings on the site are set relatively far back from the street with a tarmac forecourt area to the front of the site facing onto Doncaster Road.
- 1.2 The area where the proposed building would be located is in the far most north eastern corner of the site at the junction of Ripon Road and Doncaster Road.

2. Proposed Development

- 2.1 The application proposes the erection of a single storey detached building that would be 15.1m wide and 9.35m deep. It would be set in 3.8m from the Doncaster Road boundary and between 2m and 4m from the tapered boundary line of Ripon Road. It would be positioned 3.8m from the nearest building on site.
- 2.2 The building would be single storey and would have a height of between 2.5 and 3.6m high due to the angled nature of the roof. The building would be of a relatively modern design made up of a mixture of cedar cladding, bricks, aluminium joinery and a metal profile roof.
- 2.3 It is proposed to be used as a nursery between the hours of 8.30am and 3.30pm Monday to Friday. It would be for children Under 2 years of age. The nursery would accommodate 36 children over both morning and afternoon sessions (72 children in total over the course of the day) and there would be 9 staff on site to manage the nursery.

3.0 Relevant Planning History:

- 3.1 The following is the planning history on the school site:
 - TP/05/1309: Construction of a multiuse sports pitch with synthetic grass surface and fencing together with the erection of floodlights comprising 6 x 10m masts in the south part of the playing fields. Withdrawn.
 - TP/11/1108: Use of part of school for a car boot sale. Refused and appeal dismissed.
 - LBE/11/0019: Erection of single storey prefabricated double classroom unit. Granted with Conditions.
 - P12-00245PLA: Demolition of existing HORSAs hut and erection of a 2-storey modular building comprising six classrooms, gym, hall and staff facilities to provide replacement and additional teaching space for up to three classes of 30 pupils together with construction of hard surfaced play area to rear, multi-use games area to side, 5 additional car parking spaces and new vehicular entrance to Houndsfield Road. Granted with Conditions.

- P13-01585PLA: Installation of 8 floodlights to multi use games area. Granted with Conditions.

4. Consultations

4.1 Statutory and no statutory consultations

Traffic and Transportation:

- 4.1.1 Traffic and Transportation officers initially raised an objection to the application based on the lack of detail in relation to pupil and staff numbers and the lack of consideration to the impact to highway function and safety. Some additional information has been provided. However, this still does not provide the parking surveys of the local area requested to support the applicants position on the level of parking available to support the new nursery. The applicant has therefore been requested to undertake further surveys in accordance with a recognised methodology. An update on these will be provided at the meeting. Notwithstanding, Traffic and Transportation recognise that the nursery would tend to cater for a more local catchment and that there would be an element of linked trips where siblings are already attending the school, and increased opportunity for pedestrian trips. In this context, they are satisfied, with the conditions recommended that the potential traffic impact could be satisfactorily mitigated.

4.2 Public

- 4.2.1 15 neighbouring properties were consulted on the application and 3 site notices were posted. No responses have been received.

5. Relevant Planning Policy

5.1 London Plan

3.18 Education facilities
6.9 Cycling
6.10 Walking
6.11 Smoothing traffic flow and tackling congestion
6.13 Parking
7.4 Local Character
7.6 Architecture

5.2 Local Plan

CP 8: Education
CP30: Maintaining and improving the quality of the built and open environment.

5.3 Development Management Document

DMD16 Provision of new community facilities
DMD18 Early Years Provision
DMD 37 Achieving High Quality and Design-Led Development
DMD45 Parking Standards and Layout
DMD47 New Road, Access and Servicing

DMD68 Noise

5.4 Other relevant policy

NPPF
NPPG

6. Analysis

6.1 The main issues for consideration on this application are:

- Principle of the proposed nursery
- Design and impact on character and appearance
- Neighbouring amenity
- Traffic and parking Impacts

6.2 Principle of the Proposed Nursery

6.2.1 There is an identified need for such facilities all across the borough, due to the noted increases in population within recent years. In addition DMD18 Early years provisions encourages such facilities to be incorporated with existing school facilities.

6.2.2 As this nursery is to be located within the existing school grounds, it is considered the best location for the facility within this community and therefore complies with policy DMD18.

6.3 Design and Impact on the Character and Appearance

6.3.1 The proposed nursery building would be located in the north east corner of the school site close to the junction with Ripon Road and Doncaster Road. It would be a single storey building approximately 15m wide x 9.35m deep and would be set approximately 3.8m from the Doncaster Road boundary and between 2m and 4m from the Ripon Road boundary. The building would be between 2.5m and 3.6m high due to the angled roof proposed.

6.3.2 The building would have a relatively modern form and would be finished in a mixture of cedar cladding, bricks, aluminium fenestration and metal clad roof.

6.3.3 The built form of the surrounding streets is predominantly made up of 1930's terraced or semi-detached houses. The existing buildings on the school site are traditional late 19th century and are made of traditional materials such as London stock and slate roofs.

6.3.4 Whilst the proposed building would be of a contemporary design and it would be on a relatively open corner, it would only be single storey in height and would not be unduly imposing within the adjoining street scene.

6.3.5 In conclusion subject to final details of the finishing materials, which will be secured by condition, there is no objection to the proposed scheme from the perspective of design appearance and local character having regard to DMD37 of the Development Management Document, CP30 of the Core Strategy and 7.4 and 7.6 of the London Plan.

6.4 Neighbouring Amenity

- 6.4.1 From the perspective of neighbouring amenity it is considered the proposed nursery building is acceptable. It is single storey and is also located on the opposite side of the street from the houses on Ripon Road and Doncaster Road. It would not therefore give rise to any loss of light or outlook for existing residents.
- 6.4.2 There is obvious potential for additional noise nuisance as a result of the nursery with the young children playing and the obvious vehicular and pedestrian activity associated with the nursery use. However due regard should also be given to the fact that the nursery would be located in the existing primary school site which already has high number of pupils.
- 6.4.3 Overall taking all factors into account it is considered the proposal would have an acceptable impact from the perspective of neighbouring amenity.

6.5 Traffic and Parking Impacts

- 6.5.1 The nursery would operate between the hours of 8.30 am and 3.30pm Monday to Friday. Nine staff would be on site at any one time and the nursery would operate over 2 sessions per day, morning and afternoon that would accommodate 36 children in each session. The applicant has also advised that based on average vehicle numbers to the existing school they anticipate that approximately 10 children would travel by car to the nursery.
- 6.5.3 Traffic and Transportation have stated that the information submitted is relatively sparse in terms of the potential impacts in terms of trip generation, traffic, parking and pedestrian activity associated with the use. However it has been recognised that it is an existing school site, which is the optimum location for such a use. Also, drawing on experience from other similar school sites, it is considered that with the conditions recommended the potential traffic impact could be satisfactorily mitigated.

7. Conclusion

- 7.1 The proposed nursery will assist in meeting an identified need for early years places. It is considered that the proposed building is of an appropriate scale and design to complement the character and appearance of the area. The proposed building and use would not negatively impact upon neighbours. In addition whilst there may be some additional vehicular activity associated with the additional children attending the nursery, it is considered that the impacts can be properly controlled through the conditions recommended.

8. Recommendation

- 8.1 That planning permission be approved subject to the following conditions:

1 C60 Approved Plans

2 C07 Details of Materials

3 Construction Traffic Management Plan-No development shall commence until a Construction Traffic Management Plan has been submitted to and approved in writing by the local planning authority.

The statement should include:

- a) condition survey of highways in vicinity of the site
- b) routeing of demolition and construction vehicles;
- b) access arrangements to the site;
- c) the estimated number and type of vehicles per day/week;
- d) details of any vehicle holding area;
- e) details of the vehicle call up procedure;
- f) details of any changes to on-street waiting and loading restrictions that will be required;
- g) details of measures to protect pedestrians and other highway users from construction activities on the highway;
- h) details of facilities for construction vehicle wheel cleaning;
- i) Where works cannot be contained wholly within the site a plan should be submitted showing the site layout on the highway including extent of hoarding, pedestrian routes and remaining road width for vehicle movements.

The development shall be carried out in accordance with the approved Construction Traffic Management Plan.

Reason - To minimise the impact of construction works upon highway safety, congestion and parking availability

4 Cycle Parking-C59 (details of cycle parking) The development shall not commence until details of the siting, number and design of secure/covered cycle parking spaces have been submitted to and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed and permanently retained for cycle parking.

Reason: To ensure the provision of cycle parking spaces in line with the Council's adopted standards.

5 Pedestrian pathway- The development hereby approved shall not commence until details of a pedestrian pathway for all persons including disabled persons that connects the car park with the front entrance within the site has been submitted to and approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details before the development is occupied or use commences.

Reason: In the interests of access for all within the site

6 Refuse storage- C19 (Details of refuse storage)- The development shall not commence until details of refuse storage facilities to be provided within the development have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details before the development is occupied or use commences.

Reason: In the interests of amenity.

- 7 Star Track compliant Travel Plan- Six months following occupation of the development a full, STAR-Track compliant School Travel Plan, incorporating the components set out in TfL guidance, shall be submitted to and approved in writing by the Local Planning Authority. The Travel Plan shall also include: Agreed targets with the aim of reducing the impact of car travel on the environment; to encourage staggered start and finish times for the various year groups throughout the school; measures to promote sustainable transport and provisions promoting a wider range of cleaner travel choices; a phased programme for the increase in cycle parking provision on site, a full travel survey in consultation with the Council's School Travel Plan Monitoring Officer(s); a programme for the review and monitoring of the Travel Plan to ensure targets are met. The School shall operate in accordance with the approved Travel Plan.

Reason: In order to reduce the level of car borne traffic associated with the development and move towards more sustainable modes of transport.

- 8 C51A Time Limited Permission

This drawing must be read in conjunction with the specification and all other contract documentation listed therein.

Revisions



NEW BUILDING

Project

UNDER 2s PROJECT

Client

HOUNSFIELD PRIMARY SCHOOL

Detail

LOCATION SITE PLAN



- Project Management
- Architecture
- Building Surveying
- Building Services

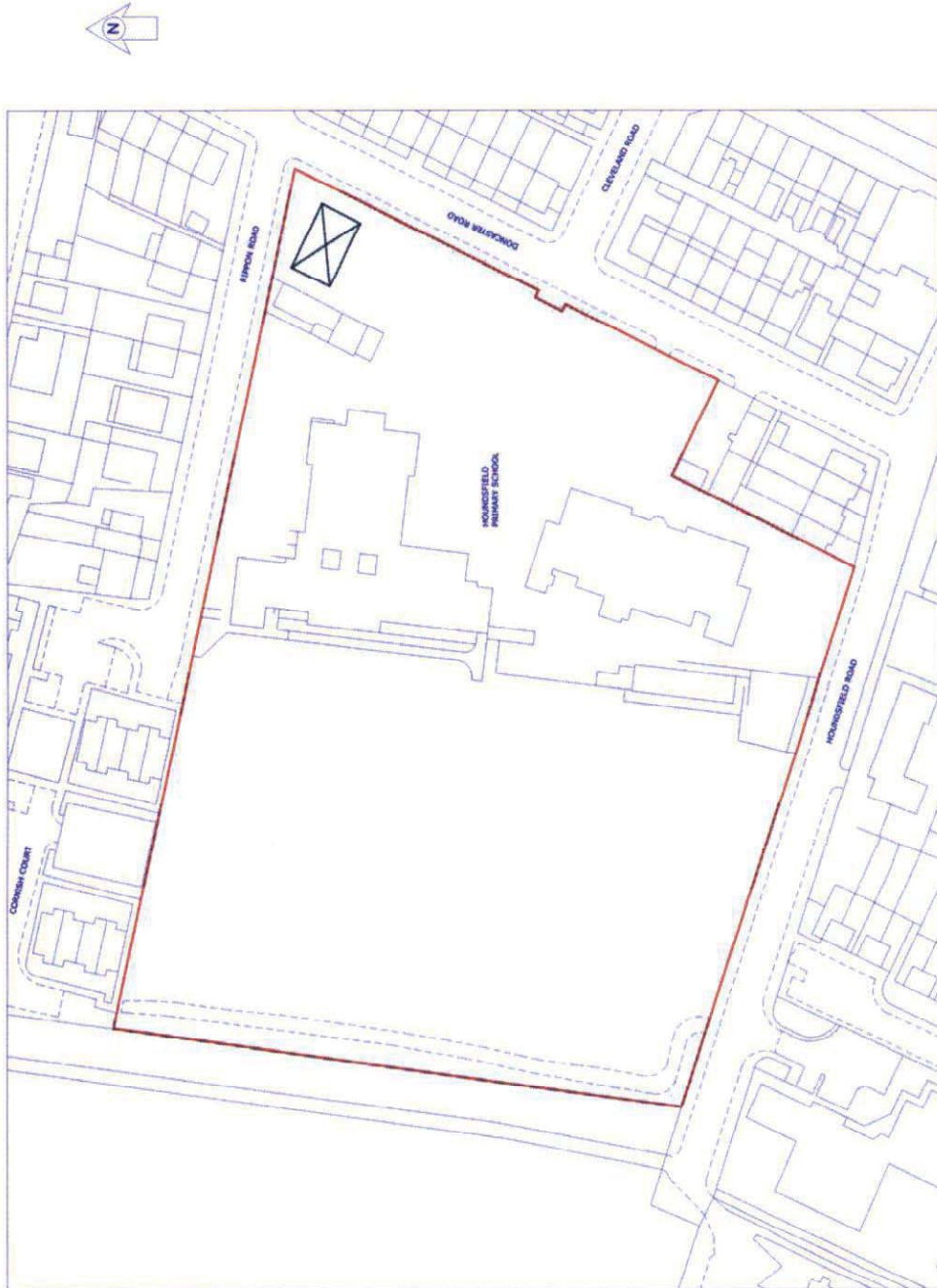


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Date **19/03/2015** Drawn By **AD**

Scale **A4@1/1250** Checked By **JK**

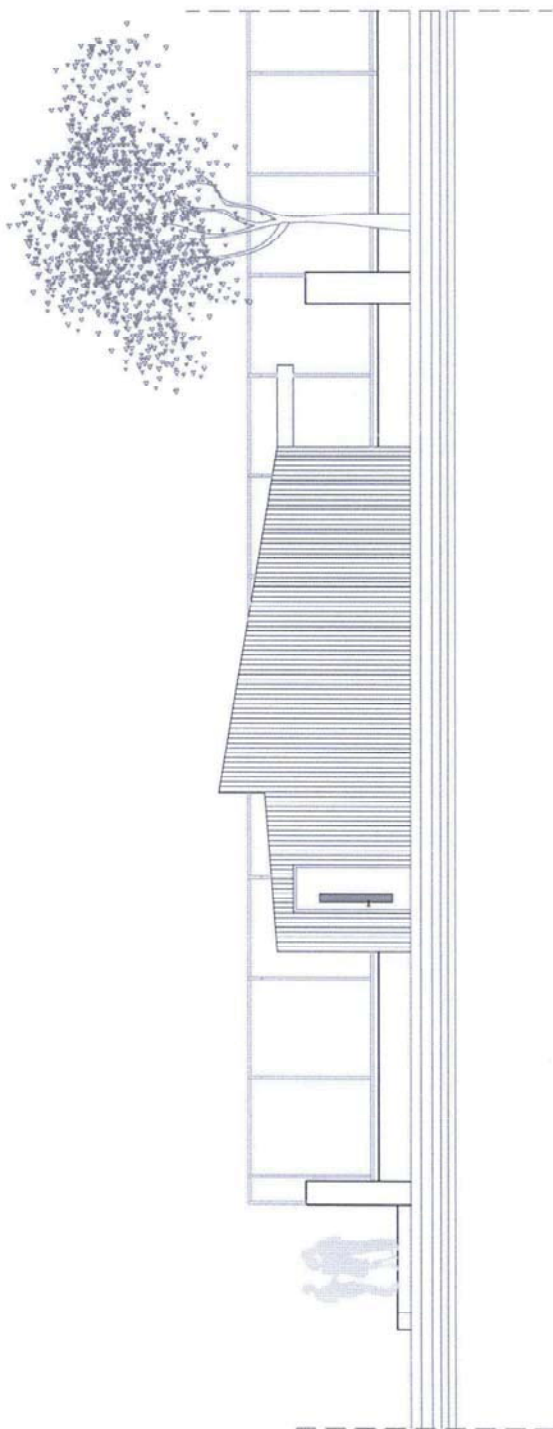
Drawing No. **01** Revision **02**



15/00689/fuc

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Revisions



Project

UNDER 2s PROJECT

Client

HOUNDSFIELD PRIMARY SCHOOL

Detail

PROPOSED EAST SIDE ELEVATION

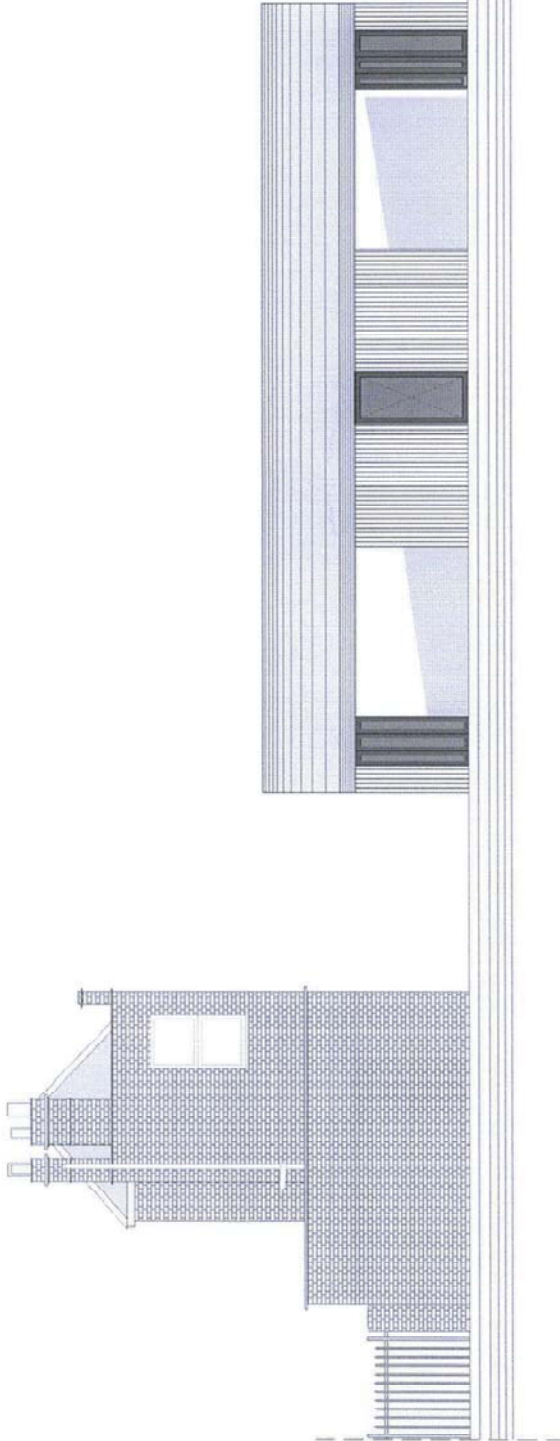


- Project Management
- Architecture
- Building Surveying
- Building Services

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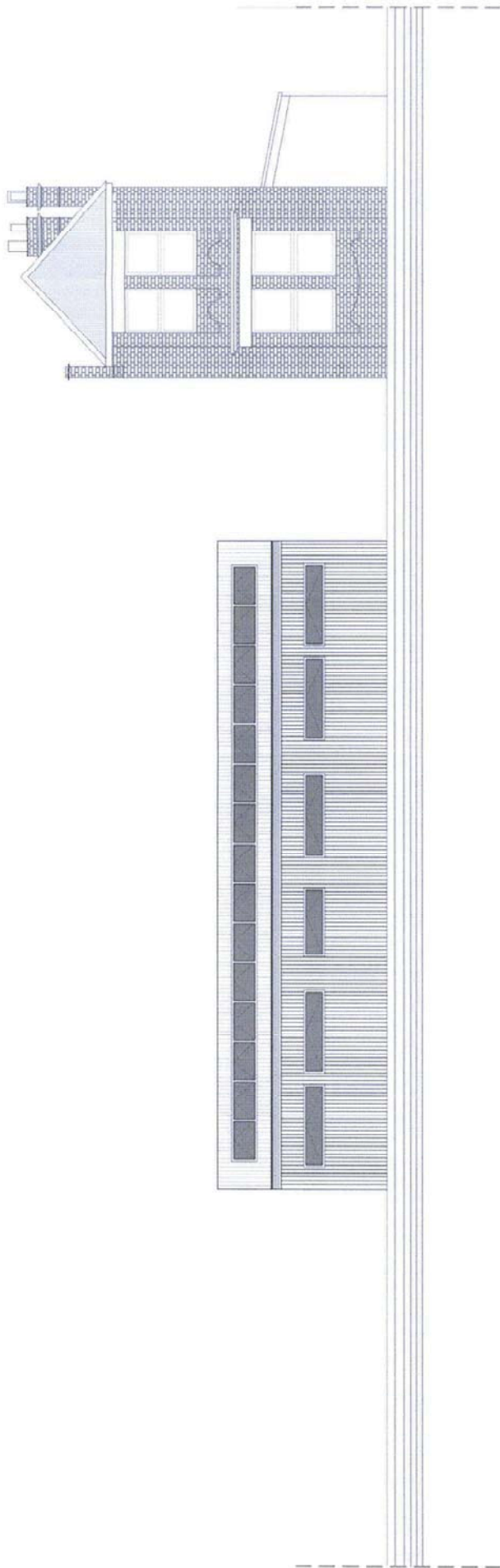
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Drawing No.	11	Revision	00

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Project		UNDER 2s PROJECT	
Client		HOUNDSFIELD PRIMARY SCHOOL	
Detail		PROPOSED FRONT ELEVATION	
 <ul style="list-style-type: none"> • Project Management • Architecture • Building Surveying • Building Services 			
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Drawing No.	03	Revision	01

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Project

UNDER 2s PROJECT

Client

HOUNDSFIELD PRIMARY SCHOOL

Detail

PROPOSED REAR ELEVATION



- Project Management
- Architecture
- Building Surveying
- Building Services



William Nixon 48 Lincoln Road, Epsom E10 4JH
 T: 020 884 3369 C: 020 884 3370
 E: enquiries@reampartnership.com W: reampartnership.com

Date: 27/02/2015

Drawn By: AD

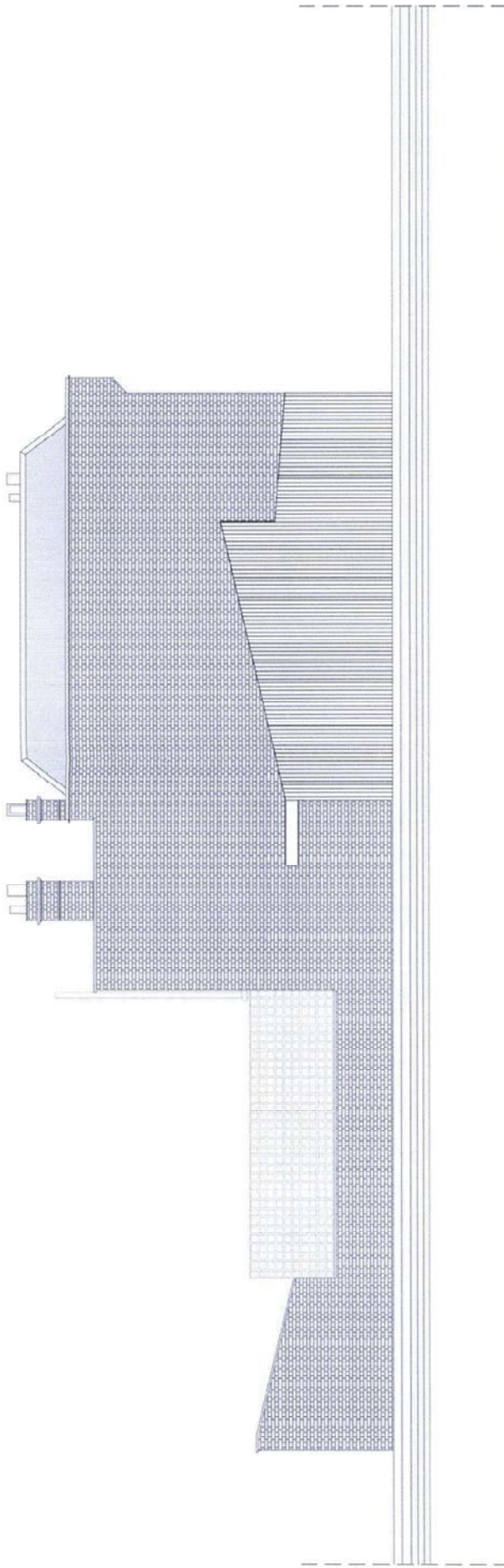
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Drawing No.: 07

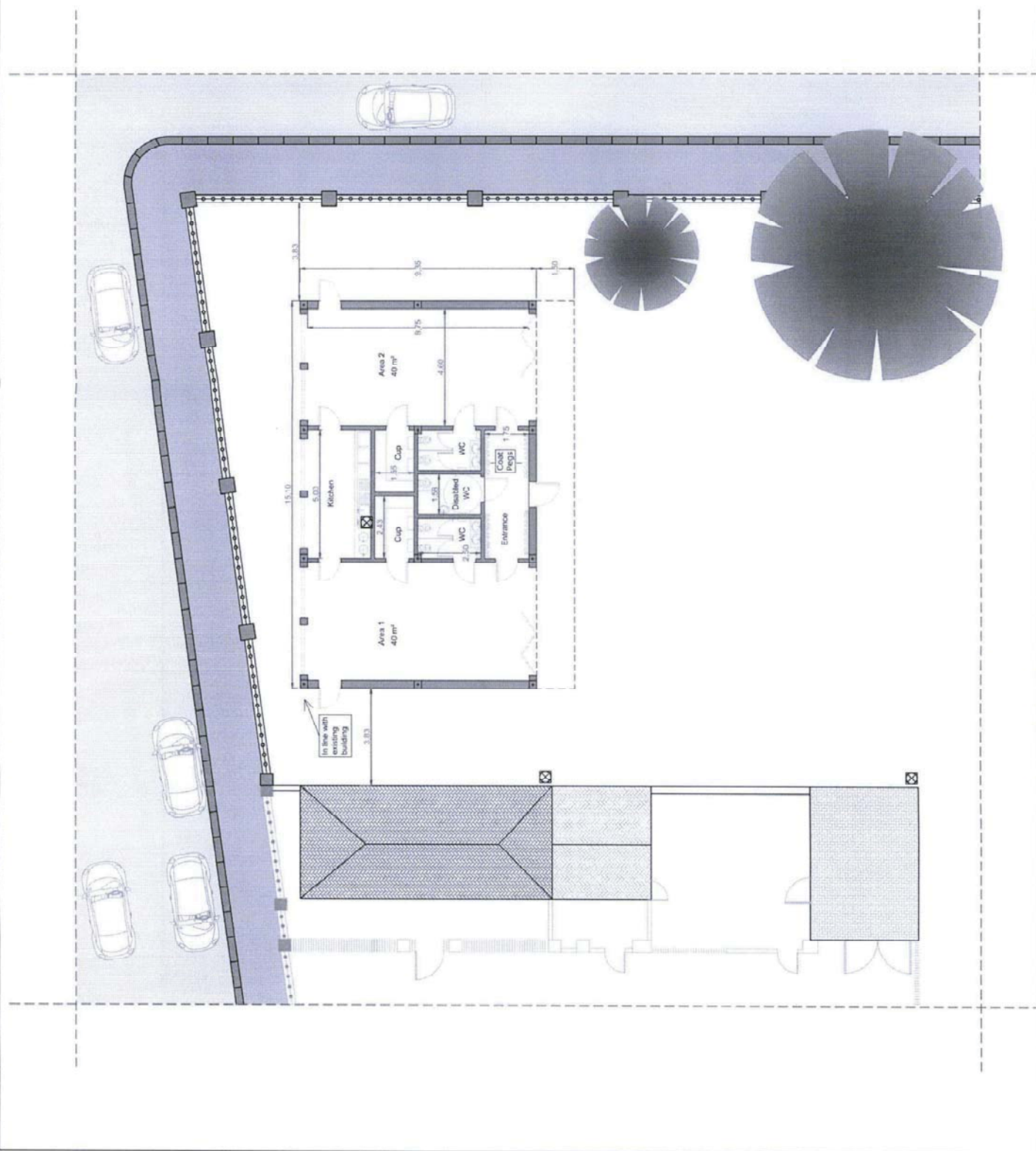
Revision: 01

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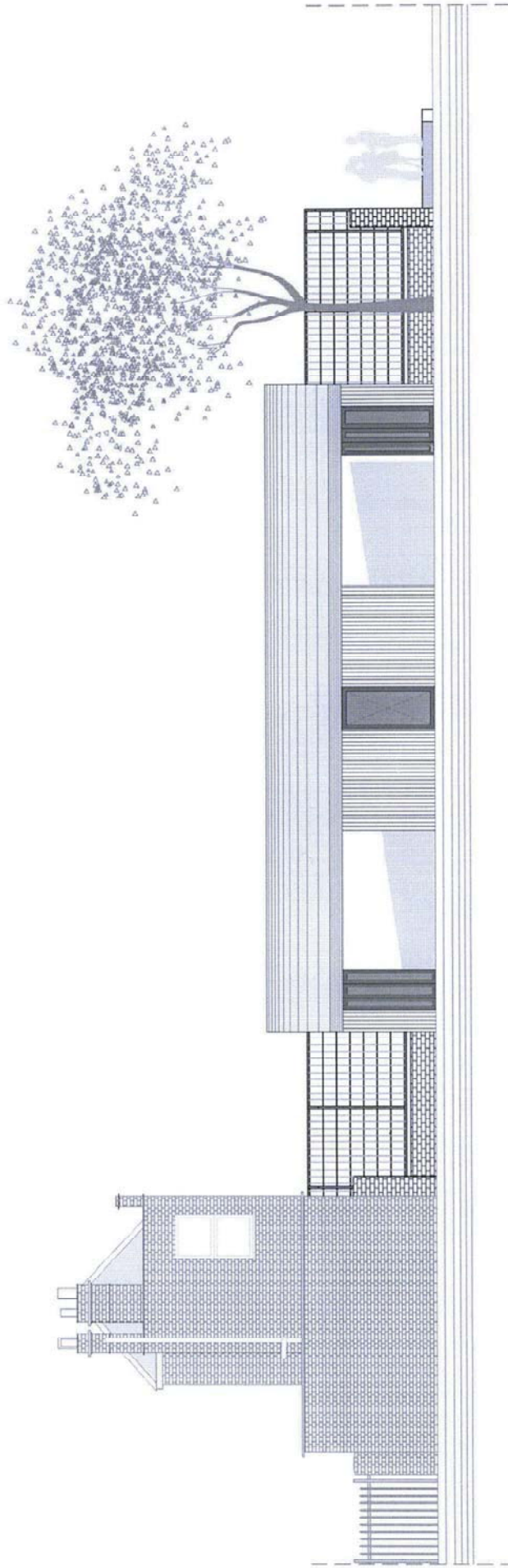
Project	UNDER 2s PROJECT		
Client	HOUNDSFIELD PRIMARY SCHOOL		
Detail	PROPOSED SIDE ELEVATION		
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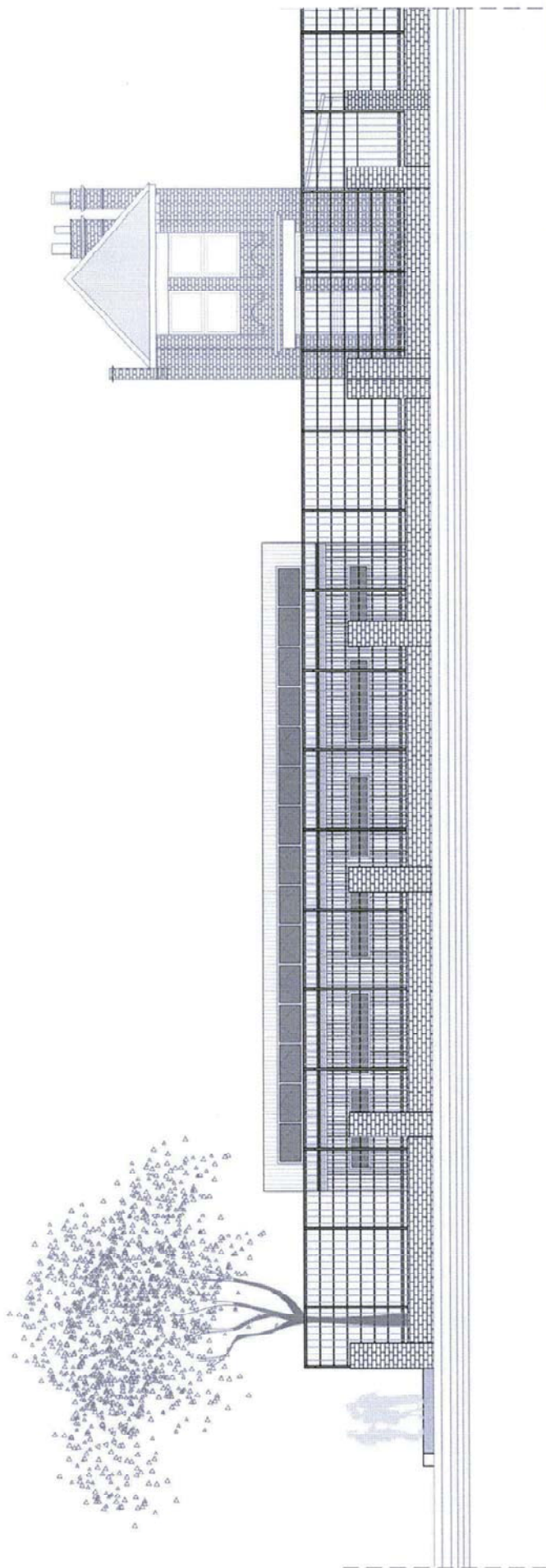
Project		UNDER 2s PROJECT	
Client		HOUNDSFIELD PRIMARY SCHOOL	
Detail		PROPOSED FLOOR PLAN	
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Drawing No.:	04	Revision:	00

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 Revision:



Project	UNDER 2s PROJECT		
Client	HOUNDSFIELD PRIMARY SCHOOL		
Detail	PROPOSED FRONT ELEVATION		
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Project

UNDER 2s PROJECT

Client

HOUNDSFIELD PRIMARY SCHOOL

Detail

PROPOSED REAR ELEVATION



- Project Management
- Architecture
- Building Surveying
- Building Services



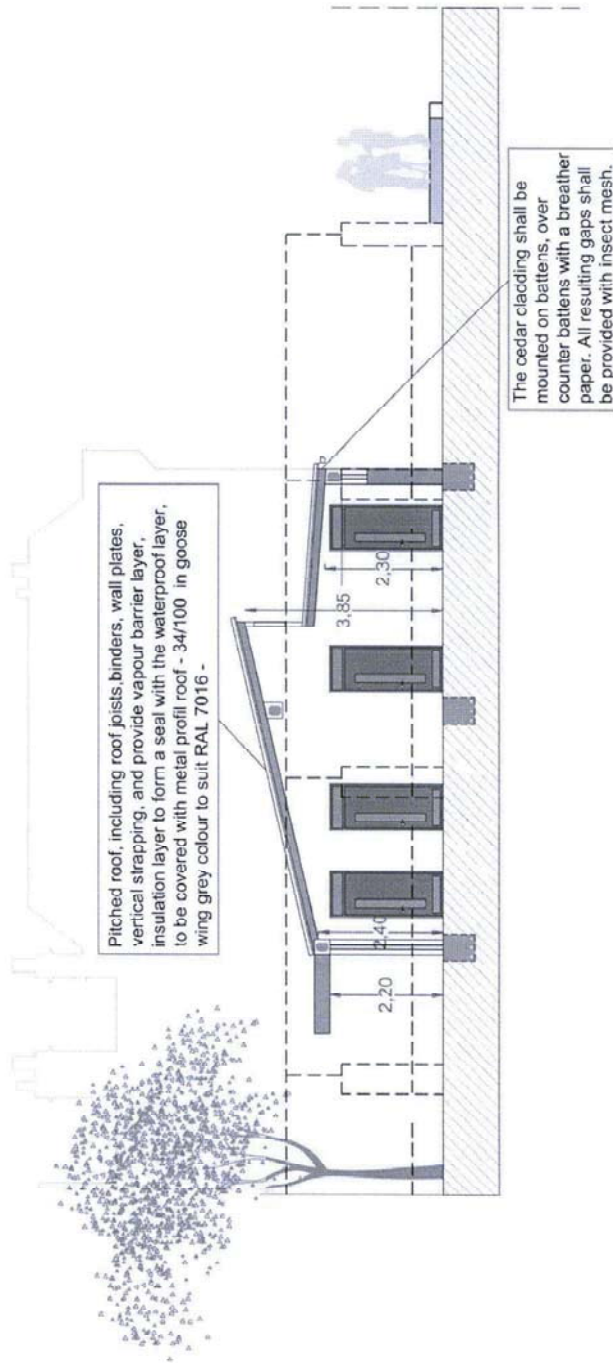
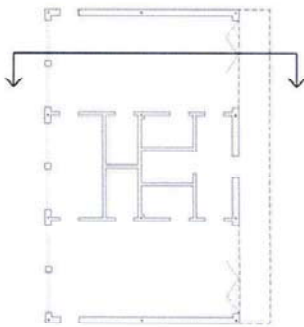
Michael Nelson 46 Lincoln Road, Epsom E10 4JH
 T: 020 800 3369 F: 020 8845 0200
 E: info@reampartnership.com W: reampartnership.com

Date: 28/01/2015 Drawn By: AD

Scale: A3@1/100 Checked By: JK

Drawing No: 07 Revisions: 00

This drawing shall be read in conjunction with the specifications and all other contract documents.



Project
UNDER 2s PROJECT

Client
HOUNDSFIELD PRIMARY SCHOOL

Detail
PROPOSED SECTION



- Project Management
- Architecture
- Building Surveying
- Building Services

Woburn House, 495 Lincoln Road, Enfield, EN1 4JH
 T: 020 8409 9999 F: 020 840 3336
 E: enquiry@reampartnership.com W: www.reampartnership.com



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Drawing No:	10	Revision:	00

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LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE		Date : 21st July 2015
Report of Assistant Director, Planning, Highways & Transportation	Contact Officer: Andy Higham 020 8379 3848 Sharon Davidson 020 8379 3841 Ms A Treloar 020 8379 1259	Ward: Cockfosters
Ref: 15/01513/FUL		Category: Full Application
LOCATION: 46 And 48 Lancaster Avenue, Barnet, EN4 0ET,		
PROPOSAL: Redevelopment of site to provide 2 x 2-storey detached blocks (Block A - 4 x 2-bed and 1 x 3-bed) and (Block B - 4 x 2-bed and 1 x 3-bed) with basement parking, gymnasium and storage involving access ramp, balconies to front and rear, rooms in roof with front and rear dormer windows, vehicle access to Lancaster Road, boundary wall with railings at front, detached refuse store and concierge building at front and associated landscaping.		
Applicant Name & Address: 48 Lancaster Avenue Hadley wood Barnet Hertfordshire EN4 0ET United Kingdom		Agent Name & Address: Mr Graham Randall Suite B4 Mindenhall Court High Street Stevenage Hertfordshire SG1 3UN United Kingdom
RECOMMENDATION: That planning permission be REFUSED for reasons.		

Ref: 15/01513/FUL LOCATION: 46 And 48 Lancaster Avenue, Barnet, EN4 0ET,



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North



1. Site and Surroundings

- 1.1 The site is located on the south side (high side) of Lancaster Avenue. It has a regular shape and is approximately 3,420m² in area comprising No. 46 (1,675m²) and No. 48 (1,745m²). It has a natural slope from east to west of approximately 3m and from north to south of approximately 5.5m. The site contains two large single family dwellings with carriage driveways.
- 1.2 The site is located within an established residential area. The pattern of development is extremely generous with large plots and substantial houses of different styles and eras.
- 1.3 The site is not located within a conservation area and does not contain a listed building.

2. Proposal

- 2.1 The application seeks planning permission for demolition of the existing single family dwellings and construction of 2x detached two-storey residential buildings with accommodation in the roofs to provide a total of 10 units (comprising 4x 2-bed and 2x 2-bed), basement car park and gymnasium, and associated concierge building / refuse store, access and enclosure.

Built form

- 2.2 The buildings would be similar in terms of their scale, form, detailing and materials.
- 2.3 The buildings would be approximately 19.2m (w) x 22.6m (d) x 6m (h) to eave and 9.6m (h) to ridge. They would be setback approximately 10-14m from the front boundary, 38-42m from the rear boundary and 2m from the side boundaries. A 4.4m distance would be maintained between the buildings.
- 2.4 The buildings would have pitched roofs with large crowns, roof terraces, front and rear box dormers, and gable features to the front façades.
- 2.5 The front elevations would be articulated by terraces, balconies, decorative balustrades, juliet balustrades, bay windows, entrance canopies with flat roofs and smooth columns, and stone cills and heads to the round and rectangular fenestration.
- 2.6 The rear elevations would be articulated by more uniform fenestration, terraces and balconies with glazed balustrades and timber privacy screens.
- 2.7 The concierge building / refuse store within the forecourt would be approximately 4.2m (w) x 3m (d) x 2.2-2.4m (h) to eave and 4.8m (h) to ridge. It would be sited on the west side of the vehicle entrance, approximately 0.6-1.2m behind the front wall.
- 2.8 The proposed development would have a new central access to the basement and a new boundary wall with railings 1.4m (h).
- 2.9 The schedule of materials would include:

Pitched roofs	Natural slate
Dormers	Lead
Walls	Red brickwork
Cills and heads	Reconstituted stone
Parapet copings	Reconstituted stone
Entrance canopies	Reconstituted stone
Decorative balustrades	Reconstituted stone
Juliet balustrades	Glass
Privacy screens	Timber
Fenestration	White UPVC double glaze
Rooflights	Timber double glaze

Layout

- 2.10 The proposed development would have a total of 2,767m² gross internal floorspace and provide a total of 10 units comprising 8x 2-bed and 2x 3-bed.
- 2.11 The buildings would have similar layouts and provide for 5 units each; 4x 2-bed and 1x 3-bed. The 2-bed units would be located on the ground and first floors and the 3-bed units would be located within the roofs. The units would be accessed by central cores with stairwells and lifts. Private amenity space would be provided by way of terraces and balconies. Residents would have access to a 96m² gymnasium within the basement and more than 1,500m² communal garden at the rear.
- 2.12 The schedule of accommodation is as follows.

	Beds	Persons	Habitable Rooms*	Floorspace (m ²)	Amenity Space (m ²)
Block A					
Flat 1	2-bed	4-person	6	181.3	46.7
Flat 2	2-bed	4-person	6	180.8	36.5
Flat 3	2-bed	4-person	5	131.9	9.0
Flat 4	2-bed	4-person	6	153.0	11.1
Flat 5	3-bed	6-person	6	207.7	34.1
Block B					
Flat 1	2-bed	4-person	6	181.3	31.9
Flat 2	2-bed	4-person	6	180.8	31.3
Flat 3	2-bed	4-person	5	136.0	11.7
Flat 4	2-bed	4-person	6	153.0	11.1
Flat 5	3-bed	6-person	6	217.4	34.1

*Note that open plan kitchen/ dining areas and kitchen/ dining/ living areas are considered to be 2 habitable rooms.

- 2.13 The basement would provide for 20 car parking spaces, 10 cycle parking spaces, 10 external storage units and a gymnasium.

3. Relevant Planning History

3.1 The site and adjoining properties do not have any relevant planning history.

4. Consultations

4.1 Statutory and non-statutory consultees

4.1.1 Traffic and Transportation

Traffic and Transportation object to the proposed development on the following grounds:

- The proposed development would provide a car parking ratio of 2 spaces per unit which is considered to be an oversupply having regard to Policy 6.13 of the London Plan and DMD 45.
- The proposed development would provide 5 Sheffield stands; this equates to a cycle parking ratio of 1 space per unit which is below the minimum standard required by Policy 6.9 of the London Plan and DMD 45.

In addition, they advise that the requirement for temporary parking restrictions and heavy duty access should be checked in advance, prior to any demolition or construction works, by contacting the Highways Improvements Team.

4.1.2 Tree Officer

No objection. The tree protection measures contained within the Tree Survey Report prepared by Green Link Ecology Ltd should be secured by condition.

4.1.3 SUDS Officer

No objection but notwithstanding the details contained within the SUR1 and SUR2 report prepared by Crosby Energy & Sustainability, details of a sustainable urban drainage system (SUDS) should be secured by condition. The details should include:

- A site plan.
- A topographical plan of the surrounding area with contours.
- The footprint of the area being drained including all buildings and parking areas.
- Greenfield Runoff Rates for a 1 in 1yr event and a 1 in 100yr event + Climate Change.
- Storage volume.
- Controlled discharge rate.
- Details of the proposed SUDS design including types, levels, volumes etc.
- An explanation of why the proposed SUDS design has been selected with respect to the London Plan drainage hierarchy.
- Geological information including details of borehole logs, depth to the water table and/or infiltration test results.
- Overland flow routes and a plan for exceedance events.
- A management plan for future maintenance.

4.1.4 Environmental Health Officer

No objection. The Demolition Method Statement submitted with the application is acceptable. A Construction Management Plan should be secured by condition.

4.1.5 Metropolitan Police

No objection. The proposed development should adopt the principles and practices of 'Secure by Design' and comply with Section 1. Design & Layout, Section 2. Physical Security and Section 3. Ancillary Security Requirements of the current SBD New Homes 2014 Multi-Storey Dwellings and SBD Commercial 3D Interactive Guides.

4.1.6 Thames Water:

No objection.

- Informatives:
 - Provision for surface water drainage.
 - Affinity Water Company contact details.

4.1.7 Duchy of Lancaster

No objection.

4.2 Public response

4.2.1 Letters were sent to 37 adjoining and nearby properties.

4.2.2 52 objections were received which raised the following concerns:

4.2.3 Impact on the character of the surrounding area

- Overdevelopment of the site.
- Intensity of residential development.
- Excessive scale, height, bulk and mass.
- Overbearing and visually intrusive built form.
- Poor quality architecture that would introduce features alien to the local area.
- Demonstrable harm to the pattern of development and the character of the surrounding area.
- The concierge building / refuse store would be obtrusive and incongruous.
- Loss of the open front garden.
- The proposed development would set an undesirable precedent for future development in Lancaster Avenue.
- The proposed development would detract from the heritage significance and special interest of the Hadley Wood Conservation Area.
- Inadequate transport connectivity, community facilities, goods and services etc. in the local area to sustain the intensity of residential development.

4.2.4 Impact on the neighbours' amenity

- Loss of light.
- Loss of outlook.

- Loss of privacy.
- The proposed development would give the impression of a four-storey building when viewed from No. 50.
- Noise and fumes from the basement ventilation.

4.2.5 Highway considerations

- Inadequate off-street car parking for residents and visitors.
- Increased traffic movements and congestion.
- Noise, general disturbance and impact on local bus services from increased traffic movements and congestion.
- Car park access and layout.
- Highway safety.

4.2.6 Viability

- Affordable housing.
- Education.

4.2.7 Other

- Existing plans and elevations were not submitted with the application.
- The studies should be assessed as bedrooms.
- Loss of property values.
- Rising water table and increased water runoff from the basement.
- General disruption and disturbance during demolition and construction works.

4.3 **Petition**

- 4.3.1 A petition with 141 signatures was also received which raised many of the above mentioned concerns.

5. **Relevant Policies**

5.1 London Plan

Policy 3.3	Increasing housing supply
Policy 3.4	Optimising housing potential
Policy 3.5	Quality and design of housing developments
Policy 3.8	Housing choice
Policy 3.9	Mixed and balanced communities
Policy 3.10	Definition of affordable housing
Policy 3.11	Affordable housing targets
Policy 3.12	Negotiating affordable housing on individual private residential and mixed use schemes
Policy 3.13	Affordable housing thresholds
Policy 5.1	Climate change mitigation
Policy 5.2	Minimising carbon dioxide emissions
Policy 5.3	Sustainable design and construction
Policy 5.7	Renewable energy
Policy 5.9	Overheating and cooling
Policy 5.10	Urban greening
Policy 5.11	Green roofs and development site environs

Policy 5.13	Sustainable drainage
Policy 5.14	Water quality and wastewater infrastructure
Policy 5.15	Water use and supplies
Policy 5.16	Waste self-sufficiency
Policy 5.18	Construction, excavation and demolition waste
Policy 6.3	Assessing effects of development on transport capacity
Policy 6.9	Cycling
Policy 6.10	Walking
Policy 6.11	Smoothing traffic flow and tackling congestion
Policy 6.13	Parking
Policy 7.1	Building London's neighbourhoods and communities
Policy 7.2	An inclusive environment
Policy 7.3	Designing out crime
Policy 7.4	Local character
Policy 7.6	Architecture
Policy 8.2	Planning obligations
Policy 8.3	Community infrastructure levy

5.2 Core Strategy

Policy 2	Housing supply and locations for new homes
Policy 3	Affordable housing
Policy 4	Housing quality
Policy 5	Housing types
Policy 20	Sustainable energy use and energy infrastructure
Policy 21	Delivering sustainable water supply, drainage and sewerage infrastructure
Policy 22	Delivering sustainable waste management
Policy 24	The road network
Policy 25	Pedestrians and cyclists
Policy 28	Managing flood risk through development
Policy 30	Maintaining and improving the quality of the built and open environment
Policy 46	Infrastructure contributions

5.3 Development Management Document

Policy 2	Affordable housing for developments of less than 10 units
Policy 3	Providing a mix of different sized homes
Policy 6	Residential character
Policy 8	General standards for new residential development
Policy 9	Amenity space
Policy 10	Distancing
Policy 37	Achieving high quality and design-led development
Policy 38	Design process
Policy 45	Parking standards and layout
Policy 46	Vehicle crossovers and dropped kerbs
Policy 47	New roads, access and servicing
Policy 48	Transport assessments
Policy 49	Sustainable design and construction statements
Policy 50	Environmental assessment methods
Policy 51	Energy efficiency standards
Policy 53	Low and zero carbon technology
Policy 54	Allowable solutions
Policy 55	Use of roof space / vertical surfaces

Policy 56	Heating and cooling
Policy 57	Responsible sourcing of materials, waste minimisation and green procurement
Policy 58	Water efficiency
Policy 61	Managing surface water
Policy 68	Noise
Policy 69	Light pollution
Policy 79	Ecological enhancements
Policy 80	Trees on development sites
Policy 81	Landscaping

5.4 Other Relevant Policy Considerations

National Planning Policy Framework
 National Planning Policy Guidance
 Mayor's Supplementary Housing Guidance
 Section 106 Supplementary Planning Document (2011)
 Enfield Characterisation Study (2011)
 Enfield Housing Market Assessment (2010)

6. **Analysis**

6.1 Principle

6.1.1 The adopted policies encourage residential development that provides new housing to support the London-wide and Borough-specific housing targets. However, the proposed development must be assessed in the context of its impact on the character of the surrounding area, impact on the neighbours' amenity, housing mix, quality of accommodation and amenity space, highway considerations, sustainable design and construction, landscaping and biodiversity enhancements, and viability which together form the principle of residential development.

6.2 Impact on the character of the surrounding area

Density

6.2.1 DMD 6(a, d, e) and DMD 8(a) seek to ensure that the density of residential development is appropriate to the locality having regard to the character of the surrounding area, public transport accessibility and local infrastructure provision such as community facilities, goods and services etc. In this regard, it is considered that density is both a quantitative and a qualitative assessment.

6.2.2 Table 3.2 of the London Plan provides a numerical assessment of density which may be used as a guide for central, urban and suburban settings. Lancaster Avenue can only be most likened to a suburban setting which is defined as '*areas with predominantly lower density development such as, for example, detached and semi-detached houses, predominantly residential, small building footprints and typically buildings of two to three storeys*'. Under this numerical assessment, the proposed density would equate to 29 units and 169 habitable rooms per hectare which is within the suggested range for a site with a PTAL 1 score in a suburban setting.

- 6.2.3 However, Table 3.2 of the London Plan should not be applied mechanistically. Density should be appropriate to the local context and in this instance it is considered that Lancaster Avenue is not a typical suburban setting as defined above. The pattern of development is extremely generous with large plots and substantial houses; the density is approximately 6-10 units (dwellings) per hectare.
- 6.2.4 The Enfield Characterisation Study defines Lancaster Avenue and the local area as a 'large suburb' character typology to distinguish it from the smaller scale classic suburb. The large suburb character typology has low to extremely low density and requires and favours the car; the sparseness of the population is unable to sustain goods and services in walking distance, whilst the large plots easily accommodate car parking. The Study emphasises that this pattern of development presents a long term sustainability issue and acknowledges that the introduction of flatted development increases density. However, the Study recommends that flatted development be located in areas with good transport connectivity and infrastructure provision provided issues of urban form and architectural character can be addressed (page 94-97 of the Enfield Characterisation Study).
- 6.2.5 Further to this, it is considered that the proposed development does not address the issues of urban form and architectural character. The proposed development by reason of its scale, bulk, mass and design would be inconsistent with the pattern of development and would detract from the visual amenity of the street scene.
- 6.2.6 The objectors have raised concern regarding inadequate transport connectivity, community facilities, and goods and services in the local area to sustain the proposed intensity of residential development. More specifically, they have raised concern regarding childcare and education places, access to healthcare providers and medical facilities, frequency of bus and train services etc. As previously discussed, flatted development can increase density and in turn provide the justification for infrastructure investment. However, in this instance, the proposed development does not address the issues of urban form and architectural character and is therefore considered unacceptable.
- 6.2.7 In summary, whilst it is acknowledged that the proposed density would fall within the suggested range for a site with a PTAL 1 score in a 'suburban setting' in accordance with Table 3.2 of the London Plan, it is considered that the proposed development by reason of its density and scale would result in an overdevelopment of the site and would detract from the character of Lancaster Avenue contrary to Policies 3.4 and 7.4 of the London Plan, Policies 2 and 30 of the Core Strategy, Policies 6, 8, 37 and 38 of the Development Management Document, and the Enfield Characterisation Study.

Scale, bulk, mass and architectural design

- 6.2.8 DMD 6(a, c), DMD 8(b), DMD 37 and DMD 38 seek to ensure that the scale, height, bulk, mass and architectural design of residential development is appropriate having regard to the pattern of development and the character of the surrounding area.

- 6.2.9 As previously discussed, the site is located in a 'large suburb' character typology. The pattern of development is extremely generous with large plots and substantial houses of different styles and eras. The buildings are typically one and two-storeys with some accommodation in the roofs, and open forecourts some with low height retaining walls or boundary walls and relatively simple landscape schemes and parking areas.
- 6.2.10 The Enfield Characterisation Appraisal identifies the following issues with flatted development in large suburbs:
- Flatted developments are often inconsistent with the scale of other buildings in the local area. This is particularly noticeable where plots have been amalgamated and the developments have a horizontal character.
 - Flatted developments generate significant car parking requirements. This can result in large areas of surface parking which can impact the street scene or adjoining gardens. Whilst the number of driveways may decrease with flatted developments, particularly where plots have been amalgamated, car movements significantly increase.
 - Many examples of flatted developments to date have shown little response to the local context – this is an issue that needs significant improvement if this form of development is not to continue to have a detrimental effect (page 94-97 of the Enfield Characterisation Study).
- 6.2.11 The proposed development would maintain the appearance of two plots and the rhythm of the street scene by providing 2x detached buildings. The buildings would provide an appropriate graduation in height between the adjoining houses following the natural slope of the land. However, the bulk and mass of the buildings would be inconsistent with the scale of other buildings in the local area. This is evidenced by a relative comparison of the building footprints, the floor areas at each level, the horizontal character, and the pitched roofs with large crowns. The bulk and mass of the buildings would dominate the adjoining houses and have an overbearing impact on the street scene. The visual impact would be emphasised by their position on the high side of the street.
- 6.2.12 It is noted that the architectural design of the proposed development takes some cues from the adjoining houses, and the Design and Access Statement cites 'georgian influences'. However on balance, it is considered that the design is unacceptable and would introduce a number of features alien to the street scene. For example:
- The pitched roofs with large crowns which would provide for the 3-bed units. The amount of accommodation within the roofs would be inconsistent with other buildings in the local area and would result in complicated and unbalanced pitched roofs with large crowns that would add to the overall bulk and mass of the buildings.
 - The roof terraces to the 3-bed units which would be visible between the buildings.
 - The terraces and balconies on the front facades, by reason of their number, position, size and design, would be incongruous features that would detract from the character and appearance of the buildings.
 - The irregular fenestration on the front facades with different shapes, sizes, decorative balustrades and juliet balustrades.
 - The 5m and 4.4m (d) x 1.8m (h) timber slatted privacy screens to the first floor rear terraces that would increase the overall bulk and mass of the buildings as viewed from the adjoining properties.

- The entrance canopies with flat roofs and smooth columns which appear to be an afterthought and do not sit comfortably within the architectural design of the buildings unlike other entrance canopies within the local area.
- The number of different materials ie. red brickwork, slate roofs, lead dormers, metal railings, glass balustrades, stone balustrades, timber privacy screens, upvc framed fenestration, timber framed rooflights, stone cills and heads.
- The basement car park, which whilst not unacceptable, would be relatively new to the street scene.
- The concierge building / refuse store which in itself would be alien to the street scene and would reduce the openness of the forecourt.

6.2.13 In summary, it is considered that the proposed development by virtue of its design, external appearance, scale, bulk and mass would be inappropriate to its context and fails to have appropriate regard to its surroundings.

6.2.14 DMD 8(h, i, j) seeks to ensure that front boundary treatments, access and hardstanding, car parking and refuse storage do not by reason of their design or form detract from the character and appearance of the property and the street scene.

6.2.15 Lancaster Avenue is predominantly characterised by open forecourts some of which have low height retaining walls and boundary walls. The proposed development would provide a new boundary wall with railings 1.4m (h). The front boundary treatment by reason of its height and design would be inconsistent with the street scene and detract from the open, leafy character.

6.2.16 The existing single family dwellings have carriage driveways. The proposed development would reduce the amount of hardstanding and increase the amount of landscaping within the forecourt. It would also reduce the number of crossovers from 4 to 1. However, the proposed development raises concern regarding:

- Insufficient information to assess the changes in levels and the design of the forecourt. For example, the site plan suggests that pedestrian access to the front entrances would be ramped ie. no steps are shown on the plan. However, this does not appear to be possible having regard to natural ground level and the sections (dwg no. 5104_P_101 and 5104_P_130).
- Lancaster Avenue is characterised by relatively simple landscape schemes and parking areas. By comparison, the forecourt would be fragmented by the changes in levels, vehicle access with railings, terraces with balustrades, pedestrian access, delivery area, and concierge building / refuse store. It is considered that the forecourt would detract from the character and appearance of the buildings and have a negative impact on the visual amenity of the street scene.
- The terraces directly opposite the vehicle access to the basement raise concern regarding outlook, noise, fumes, light spill and general disturbance from vehicle movements.

6.2.17 As previously discussed, the concierge building / refuse store within the forecourt would be alien to the street scene and would reduce the openness of the forecourt. This type of development is considered inappropriate and unsympathetic to the character and appearance of Lancaster Avenue.

6.2.18 For these reasons, it is considered that the scale, bulk, mass and architectural design of the buildings, and the front boundary wall and forecourt would be inappropriate to the pattern of development and the character of the surrounding area contrary to Policies 3.5, 7.4 and 7.6 of the London Plan, Policies 4 and 30 of the Core Strategy, Policies 6, 8, 37 and 38 of the Development Management Document, and the Enfield Characterisation Study.

6.3 Impact to the neighbours' amenity

Light

6.3.1 The proposed development would not overshadow the adjoining south-facing gardens, and would not unreasonably reduce light to the adjoining houses for the following reasons.

6.3.2 The proposed development would maintain a 3.8m distance to the first floor windows on the flank elevation of No. 44 comprising 2m on the development site and 1.8m on the adjoining property. There would be a change in levels of approximately 1.8m between the plots at the front building line. The first floor windows on the flank elevation of No. 44 would overlook the pitched roof of Block A.

6.3.3 The proposed development would maintain a 3m distance to the flank wall of No. 50 comprising 2m on the development site and 1m on the adjoining property. There would be a change in levels of approximately 1.2m between the plots at the front building line. On balance, it is considered that the proposed development would not unreasonably reduce light to the adjoining house because the windows on the flank elevation of No. 50 are secondary sources of light to the north-facing reception room and the south-facing family room. The remaining windows on the flank elevation of No. 50 serve non-habitable rooms; wc and ensuite (P12-01681PLA dwg no. 1365.P.04.SK2).

Outlook

6.3.4 Whilst applicable to householder extensions, DMD 11 nevertheless establishes the basis for assessment of the impact of development on the light and outlook to neighbouring properties. DMD 11 requires that ground floor rear extensions do not exceed a 45 degree line as taken from the centre of the adjoining ground floor windows and that first floor rear extensions do not exceed a 30 degree line as taken from the centre of the adjoining first floor windows.

6.3.5 The proposed development would comply with these parameters. However, it is considered that the proposed development would adversely affect the amenity of No. 50 through visual bulk and a sense of enclosure as viewed from the adjoining terrace and family room windows having regard to the change in levels and the height and depth of Block B, namely the 6m deep single-storey projection and the 5m deep privacy screens above. The change in levels between the plots is approximately 1.2m at the front building line and appears to increase towards the rear building line. Block B would present a two and a half to three-storey building with pitched roof as viewed from the adjoining terrace at No. 50. The relationship with No. 44 is considered

acceptable having regard to the change in levels and the height and depth of Block A.

Privacy

- 6.3.6 The proposed development would include windows on the flank elevations opposite No. 44 and No. 50. These windows would serve lounge rooms, studies and ensuites. The ground and first floor windows on the flank elevation of Block A would not have any impact on the privacy of No. 44 having regard to the change in levels and the boundary wall at No. 44. The ground and first floor windows on the flank elevation of Block B would adversely affect the privacy of No. 55 and overlook the adjoining reception room and family room windows and terrace having regard to the change in levels between the plots. It is considered that the secondary windows to the lounge rooms of Units 1 and 3 should be deleted and the remaining windows to the studies and ensuites of Units 1 and 3 should be screened with raised cills or obscure glazing. This could be secured by condition.
- 6.3.7 The proposed development would include first floor terraces on the rear elevations. The terrace adjoining No. 44 would be 2m deep and would have a 1.8m (h) x 4.4m (d) timber slatted privacy screen inset 2.4m from the side boundary. The terrace adjoining No. 50 would be 2m deep and would have a 1.8m (h) x 5m (d) timber slatted privacy screen inset 2.4m from the side boundary. It is considered that details of the timber slatted privacy screens could be required by condition to ensure that they limited direct views into the adjoining properties. However, it is considered that the depth of the privacy screens would increase the overall bulk and mass of the buildings as viewed from the adjoining properties. It is recommended that the privacy screens provide a return and enclose part of the rear elevations of the terraces. In addition, it is considered that timber slats would be inconsistent with the other materials used in the exterior of the building; it is recommended that obscure glazing would be more appropriate and would allow light penetration.
- 6.3.8 The objectors have raised concern regarding the impact to the properties to the rear of the site. DMD 10 requires a 30m distance between the rear facing windows of three-storey buildings. The distance between the rear elevation of the proposed development and the rear elevation of the properties to the rear of the site would be in excess of 30m. In addition, it is noted the vegetation at the rear of the site would limit views between the buildings.
- 6.3.9 The objectors have also raised concern regarding the impact to the properties to the front of the site. However, the front gardens and front windows to the houses on the opposite side of Lancaster Avenue are not private and can be viewed from the street.

Traffic congestion and general disturbance from traffic movements

- 6.3.10 It is considered that the increase in traffic movements generated by 20 vehicles entering and exiting the basement would result in an intensity of use that would be greater than many residents might reasonably expect in Lancaster Avenue having regard to its existing character.
- 6.3.11 Having regard to the above assessment, it is considered that the proposed development would adversely affect the neighbours' amenity by way of visual bulk and a sense of enclosure to No. 50 contrary to Policies 3.4, 3.5 and 7.4

of the London Plan, Policies 2 and 30 of the Core Strategy, Policies 6, 8, 37, 38, 68 and 69 of the Development Management Document, and the Enfield Characterisation Study.

6.4 Housing mix, quality of accommodation and amenity space

Housing mix

- 6.4.1 DMD 3 and DMD 6(b) require residential developments of 10 or more units to provide a housing mix in accordance with Policy 5 of the Core Strategy; 35% 1 and 2-bed units, 45% 3-bed units, and 20% 4 or more bed units. The proposed development would provide a housing mix of 80% 2-bed units and 20% 3-bed units. A variation of the adopted policies is considered acceptable in this instance having regard to the high proportion of family sized accommodation in the local area and that the proposed development would increase the overall housing mix.

Quality of accommodation and amenity space

- 6.4.2 DMD 6(c) and DMD 8(d, e) require residential development to meet or exceed the minimum space standards in the London Plan and provide well-designed, flexible and functional layouts in accordance with the Mayor's Supplementary Housing Guidance. DMD 8(g) and DMD 9(1) require residential development to provide high quality amenity spaces that meet or exceed the minimum private amenity space standards in Table 2.1.

- 6.4.3 The following table provides a summary of the relevant minimum standards:

Dwelling Type	Minimum Space (m ²)	Minimum Private Amenity Space (m ²)
2-bed 4-person	70	7
3-bed 5-person	86	8

- 6.4.4 The proposed development would exceed the minimum standards as detailed in the schedule of accommodation at paragraph 2.12 of this report. The units would have flexible and functional layouts with regular shaped rooms, except for Block A, Unit 5, Bedroom 3 which would be 5.5m (w) x 2.4m (d) with a hip roof. The private amenity spaces provided by way of terraces and balconies would be acceptable.

- 6.4.5 DMD 9(2) requires residential development to provide communal amenity space, in addition to private amenity space, that is functional, accessible, overlooked, and has a suitable management arrangement in place. The proposed development would provide more than 1,500m² communal garden at the rear with pedestrian access between the buildings. Details of the landscape scheme and management arrangement could be secured by condition.

6.5 Highway considerations

Pedestrian access

- 6.5.1 The proposed development would provide separate pedestrian access to the front entrances. However as previously discussed in paragraph 6.2.17 of this report, there is insufficient information to assess the changes in levels and the

design of the forecourt. For example, the site plan suggests that pedestrian access to the front entrances would be ramped ie. no steps. However, this does not appear to be possible having regard to natural ground level and the sections (dwg no. 5104_P_101 and 5104_P_130).

Vehicle access

- 6.5.2 Traffic and Transportation have advised that the access ramp would allow two-way traffic. The car park would provide adequate circulation for vehicles to manoeuvre. Details of levels, hardstanding, drainage and the access ramp could be secured by condition.

Car parking provision

- 6.5.3 The London Plan provides the following maximum parking standards; less than 1 space for 1 and 2-bed units, up to 1.5 spaces for 3-bed units and up to 2 spaces for 4 or more bed units. Based on the proposed housing mix, this would yield 11 spaces.
- 6.5.4 The proposed development would exceed the maximum parking standards and provide 20 spaces within the basement with a ratio of 2 spaces per 2 and 3-bed unit. The Traffic Officer has raised concern regarding an oversupply of parking, however a variation is considered acceptable in this instance having regard to:
- The site's PTAL 1a score;
 - The large suburb character typology;
 - Off-street parking provision in the local area;
 - Transport capacity and social infrastructure in the surrounding area; and
 - The flexibility afforded in the relevant planning policies.
- 6.5.5 20% of all spaces must be for electric vehicles with an additional 20% passive provision for electric vehicles in the future. This could be secured by condition.

Cycle parking provision

- 6.5.6 The London Plan provides minimum parking standards; 1 space for studios and 1-bed units and 2 spaces for 2 or more bed units. Based on the proposed housing mix, this would yield 20 resident spaces plus 2 visitor spaces.
- 6.5.7 The proposed development would provide 5 Sheffield stands within the basement; this equates to a cycle parking ratio of 1 space per 2 and 3-bed unit which is below the minimum standard. The proposed development should meet or exceed the minimum standard for cycle parking in a secure area that allows both the frame and at least 1 wheel to be locked. This could be secured by condition.

Refuse storage

- 6.5.8 The proposed development would provide a refuse store within 10m of the front boundary for easy collection. However as previously discussed, the concierge building / refuse store within the forecourt would be alien to the street scene and would reduce the openness of the forecourt. This type of development is considered inappropriate and unsympathetic to the visual

amenity of Lancaster Avenue. DMD 8(h) requires that refuse stores, by reason of their form or design, do not adversely affect the quality of the street scene.

- 6.5.9 Refuse collection would take place on-street from Lancaster Avenue. Ideally servicing would take place within the development site, however Council's Traffic Officer has advised that there is insufficient space to enable larger vehicles to enter and exit the site in forward gear without adversely affecting highway safety. A management arrangement may be required to ensure that bins were brought forward to the highway for collection.
- 6.5.10 The proposed development would provide a delivery area behind the concierge building / refuse store. The area would enable smaller vehicles to enter and exit the site in forward gear. However as previously discussed elsewhere in this report, there is insufficient information to assess the changes in levels and the design of the forecourt. It is considered that the forecourt would be fragmented by the changes in levels, vehicle access with railings, terraces with balustrades, pedestrian access, delivery area, and concierge building / refuse store. It is considered that the forecourt would detract from the character and appearance of the buildings and have a negative impact on the visual amenity of the street scene.

6.6 Landscaping and Biodiversity

Trees

- 6.6.1 DMD 80 requires that residential development retains and protects trees of significant amenity and biodiversity value. Council's Tree Officer has not raised any objection to the proposed development and has requested that the tree protection measures contained within the Tree Survey Report prepared by Green Link Ecology Ltd be secured by condition.

Biodiversity

- 6.6.2 The Ecological Scoping Survey prepared by Green Link Ecology Ltd concludes that both dwellings have potential for roosting bats. For example, the hanging tiles, warped weatherboards, dormer windows, damaged/ missing roof tiles, and small gaps/ holes. The weeping willow between No. 46 and No. 48 (tree no. 17 on dwg no. 14_1094_TPP_NT_IR_Rev_A) has multiple features suitable for supporting roosting bats. The rear gardens, scattered trees and larger shrubs provide suitable habitats for birds to use during breeding season.
- 6.6.3 The report recommends a dusk emergence/ pre-dawn re-entry survey of the dwellings and the weeping willow to establish the presence/ absence of roosting bats. This information is required to inform the need for mitigation measures and a European Protected Species Mitigation (EPSM) licence application, if bats are present.
- 6.6.4 The removal of scattered trees and larger shrubs should be undertaken outside of bird breeding season (March – July/ August). If this time cannot be reasonably avoided, the works should be carried out under the supervision of an experienced ecologist who will check the habitats for the presence/ absence of birds' nests. If any active birds' nests are found, works with the potential to impact the nest must temporarily cease and an appropriate buffer

zone be provided until the young have fledged and the nest is no longer in use.

- 6.6.5 The report makes a number of recommendations for on-site ecological enhancements including details of 16 bird and bat boxes, and plant species with a known attraction or benefit to local wildlife.
- 6.6.6 The further study, mitigation measures and ecological enhancements contained within the Ecological Scoping Survey prepared by Green Link Ecology Ltd could be required by condition.

Landscaping

- 6.6.7 DMD 81 requires that residential developments provide high quality landscape schemes that enhance the local character, benefit biodiversity and help reduce water runoff. Details of the landscape scheme including tree protection measures and onsite ecological enhancements recommended by Green Link Ecology Ltd could be secured by condition.

6.7 Sustainable Design and Construction

- 6.7.1 The adopted policies require that residential development achieves the highest sustainable design and construction standards having regard to technical feasibility and economic vitality.
- 6.7.2 The Energy Statement and the Code for Sustainable Homes Pre-Assessment prepared by Crosby Energy & Sustainability demonstrate that the proposed development would achieve a 35% reduction in CO2 emissions over the current Building Regulations and a Code Level 4 under the Code for Sustainable Homes in accordance with DMD 50 and DMD 51. The details of which could be secured by condition.
- 6.7.3 DMD 55 encourages the installation of low zero carbon technologies and green roofs. A feasibility assessment for the installation of such technologies could be required by condition.
- 6.7.4 DMD 61 requires that new development maximises the use of sustainable urban drainage systems to manage surface water as close to its source as possible in accordance with the London Plan drainage hierarchy. The SUDS Officer has advised that this could be secured by condition, notwithstanding the details submitted.

6.8 Affordable housing

- 6.8.1 DMD 2 requires a financial contribution to deliver off-site affordable housing for all development of less than 10 units involving a net gain in units based on a 20% target set out in Core Policy 3.
- 6.8.2 On 28th November 2014 the Government introduced immediate changes to the National Planning Practice Guidance through a Written Ministerial Statement to state that contributions for affordable housing and tariff style planning obligations should not be sought for small scale and self-build developments containing 10 units or less with a gross area of no more than 1000sq.m.

- 6.8.3 The proposed development would provide a net gain of 8 units but with 2,084m² net additional gross floorspace and would therefore exceed the threshold for small scale development exemptions.
- 6.8.3 The Viability Assessment prepared by Insignia Homes concludes that the scheme would be able to provide a £100,000.00 affordable housing contribution.
- 6.8.4 The Council's independent review of the viability assessment concludes that the scheme would be able to provide:

• Mayoral CIL	£46,539.55
• Affordable housing	£672,819.48
• Monitoring fee	£33,640.97
• Total contributions	£753,000.00

6.8.5 It is therefore considered that the proposal fails to provide a sufficient affordable housing contribution contrary to Policies 3.10, 3.11, 3.12, 3.13 and 8.2 of the London Plan, Policies 2 and 46 of the Core Strategy, Policy 2 of the Development Management Document, and the S106 Supplementary Planning Document.

6.9 Education

6.9.1 In the light of the Ministerial Statement referred to above and following the Council's Local Plan Cabinet Sub Committee decision of 15th January 2015, the development would not be required to make an education contribution. .

6.10 Community Infrastructure Levy

6.10.1 As of April 2010, legislation in the form of Community Infrastructure Levy (CIL) Regulations 2010 (as amended) came into force which allow 'charging authorities' in England and Wales to apportion a levy on net additional floorspace for certain types of qualifying development to enable the funding of a wide range of infrastructure that is needed as a result of development. Since April 2012, the Mayor of London has been charging CIL in Enfield at the rate of £20 per sqm. The Council is progressing its own CIL but this has not yet been adopted.

6.10.2 The proposed development is CIL liable. The CIL calculation based on the current index figure is as follows. Note that the index figure has risen since the independent review of the viability assessment was completed.

$$(\text{£}20 \times 2,084\text{m}^2 \times 254) / 223 = \text{£}47,474.08$$

6.10.3 Existing floor area 683m²; proposed floor area 2,767m².

6.11 Other

6.11.1 The objectors have raised concern regarding the impact on the Hadley Wood Conservation Area which comprises Crescent East and Crescent West which together form a horseshoe off Camlet Way. It is noted that the Conservation Area also includes No. 1 to No. 33 Lancaster Avenue. It is considered that the

proposed development would not have any impact on the setting of the Conservation Area having regard to the 300m distance between.

- 6.11.2 The objectors have raised concern that existing plans and elevations were not submitted with the application. The absence of plans detailing the existing properties against which to make a comparison is not essential to make a full and accurate assessment of the proposed development. The test is not whether there is any difference between the existing and proposed, but whether the proposed development is acceptable in terms of the material considerations detailed at paragraph 6.1.1 of this report.
- 6.11.3 The objectors have raised concern regarding loss of property values; this is not a material planning consideration.
- 6.11.4 The objectors have also raised concern regarding noise and fumes from the basement ventilation. This is a matter addressed through the Building Regulations.

7. Conclusion

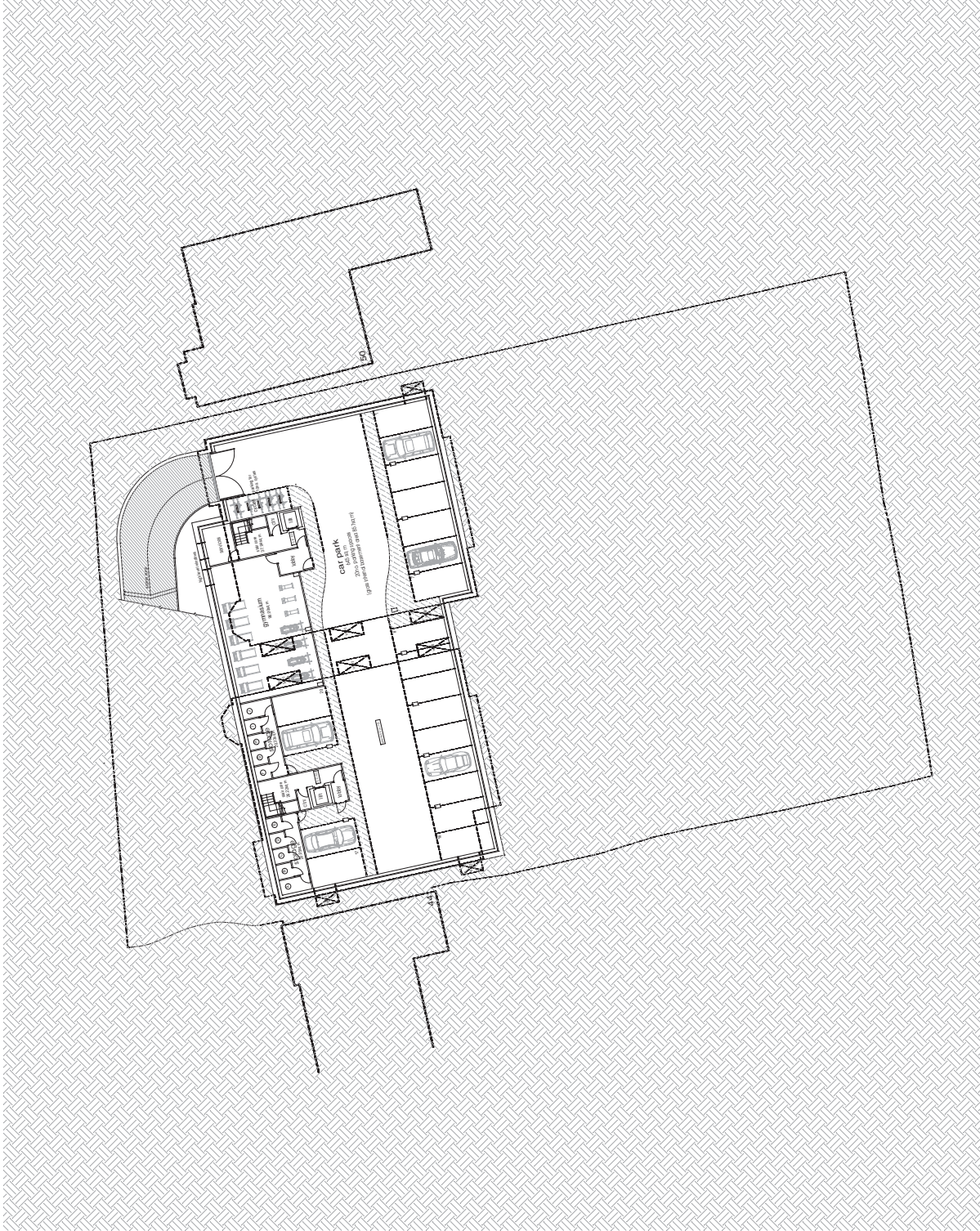
- 7.1 Having regard to the above assessment, it is considered that the proposed development by virtue of its design, size, scale, bulk and mass would be inconsistent with and detract from the character and appearance of Lancaster Avenue, it would have an unacceptable impact on the amenities of the occupiers of No. 50 Lancaster Avenue and would fail to make appropriate contributions towards affordable housing.

8 Recommendation.

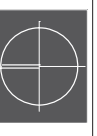
- 8.1 That planning permission be REFUSED for the following reasons:
 - 1. The proposed development by reason of its density, scale, bulk, mass and design would be inconsistent with the pattern of development and would dominate and detract from the character and appearance of Lancaster Avenue contrary to Policies 3.5, 7.4 and 7.6 of the London Plan, Policies 4 and 30 of the Core Strategy, Policies 6, 8, 37 and 38 of the Development Management Document, and the Enfield Characterisation Study.
 - 2. The concierge building / refuse store would reduce the openness of the forecourt and detract from the visual amenity of the street scene contrary to Policies 3.5, 7.4 and 7.6 of the London Plan, Policies 4 and 30 of the Core Strategy, Policies 6, 8, 37 and 38 of the Development Management Document, and the Enfield Characterisation Study.
 - 3. The height of the boundary wall and the fragmented design of the forecourt would cause harm to the character and appearance of the property and the street scene contrary to Policies 3.5, 7.4 and 7.6 of the London Plan, Policies 4 and 30 of the Core Strategy, Policies 6, 8, 37 and 38 of the Development Management Document, and the Enfield Characterisation Study.
 - 4. The proposed development, by reason of the change in levels and the height and depth of the single-storey projection and the privacy screens of Block B, would adversely affect the amenity of No. 50 through visual bulk and a sense of enclosure contrary to Policies 3.5 and 7.4 of the London

Plan, Policies 4 and 30 of the Core Strategy, and Policies 6, 8, 37 and 38 of the Development Management Document.

5. The proposal fails to provide a sufficient affordable housing contribution contrary to Policies 3.10, 3.11, 3.12, 3.13 and 8.2 of the London Plan, Policies 2 and 46 of the Core Strategy, Policy 2 of the Development Management Document, and the S106 Supplementary Planning Document.
6. The proposed development would fail to provide cycle parking facilities in accordance with the minimum standards set out in Table 6.3 of the London Plan contrary to Policy 6.9 of the London Plan, Policy 25 of the Core Strategy, and Policy 45 of the Development Management Document.



proposed basement plan



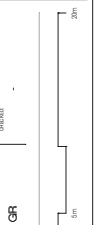
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A1 DRAWING

DATE DEC 2014

DRAWN GR

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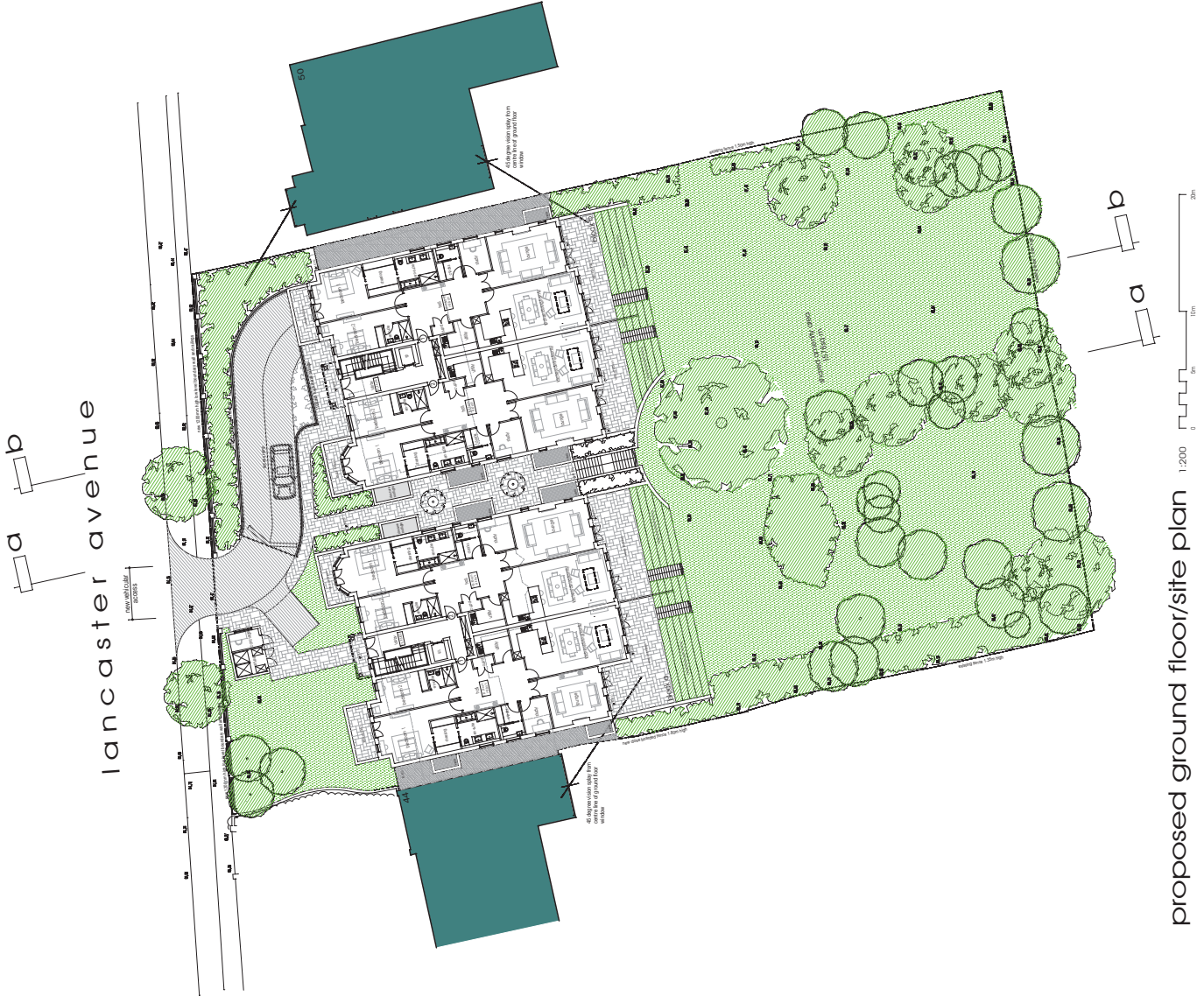
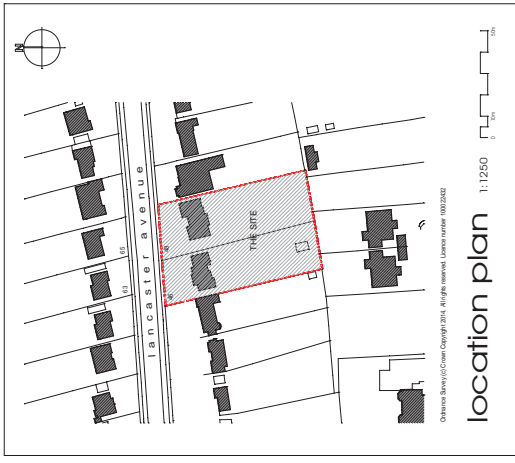
Hartwell Architecture
 100 High Street
 London E14 6ET
 T: 01 432 3456
 www.hartwellarch.co.uk

Architect
 100 High Street
 London E14 6ET
 T: 01 432 3456
 www.hartwellarch.co.uk

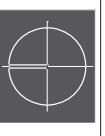
DATE HOMES LTD
 PROJECT TITLE PLANNING

PROJECT REDEVELOPMENT OF 46 & 48 LANCASTER AVENUE
 HADLEY WOOD LONDON E14 6ET
 PROJECT TITLE PROPOSED BASEMENT PLAN

DATE 5104 P 100
 REVISION



proposed ground floor/site plan 1:200



PERSON DATE

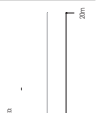
EXPRESSION

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DATE DECEMBER 2014

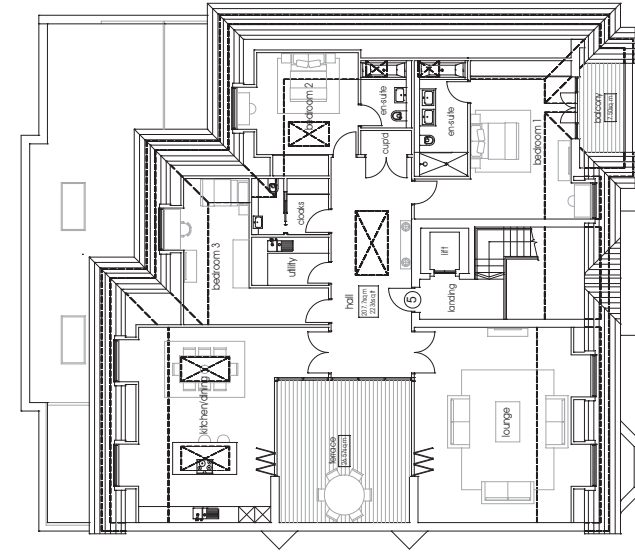
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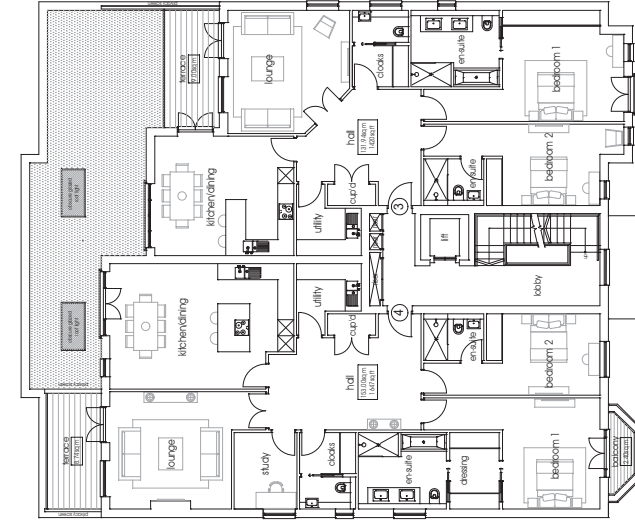


DATE HOMES LTD
PROJECT REDEVELOPMENT OF 46 & 48 LANCASTER AVENUE
HADLEY WOOD LONDON E14 0ET
PROJECT TITLE PROPOSED GROUND FLOOR/SITE PLAN

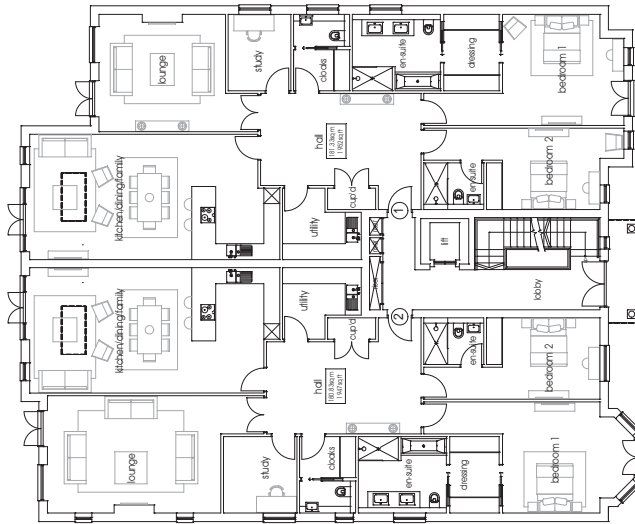
DATE 5104 P 101
PROJECT



proposed second floor plan



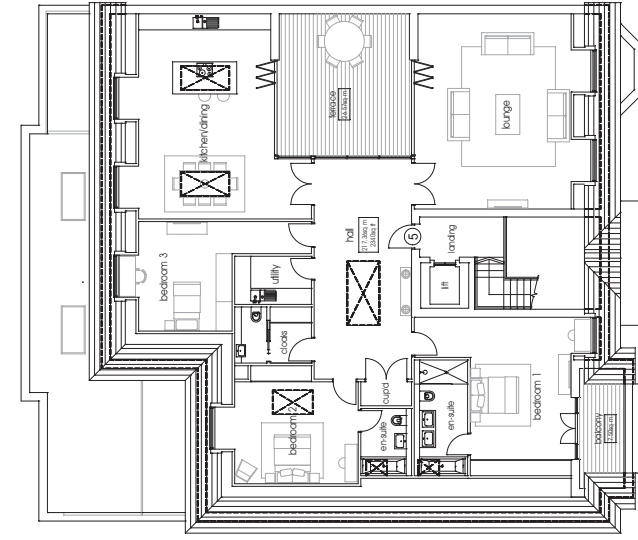
proposed first floor plan



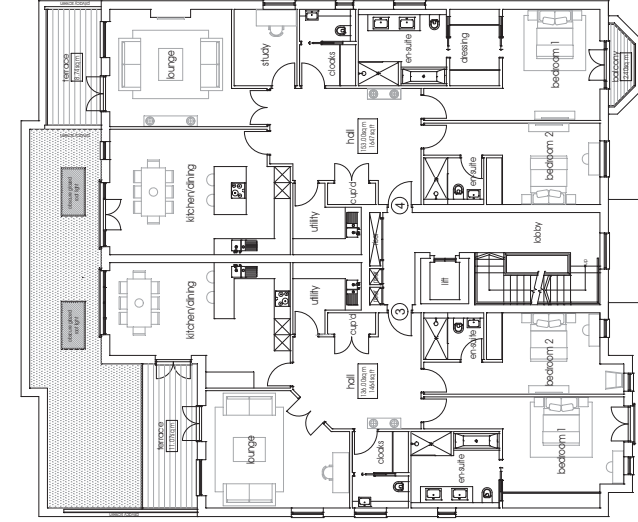
proposed ground floor plan

BLOCK A

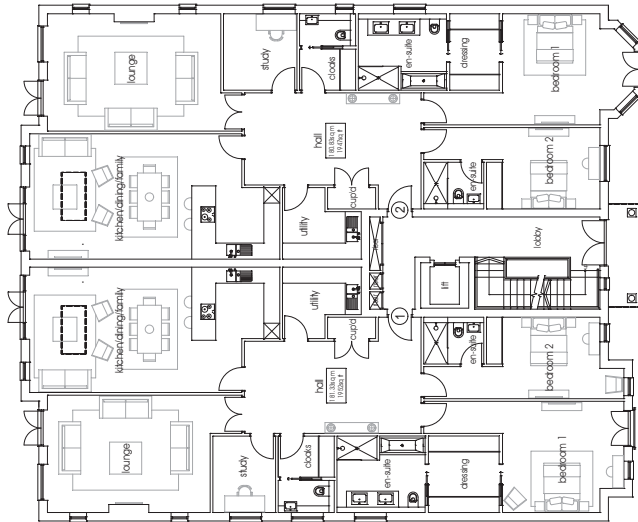




proposed second floor plan



proposed first floor plan



proposed ground floor plan

BLOCK B

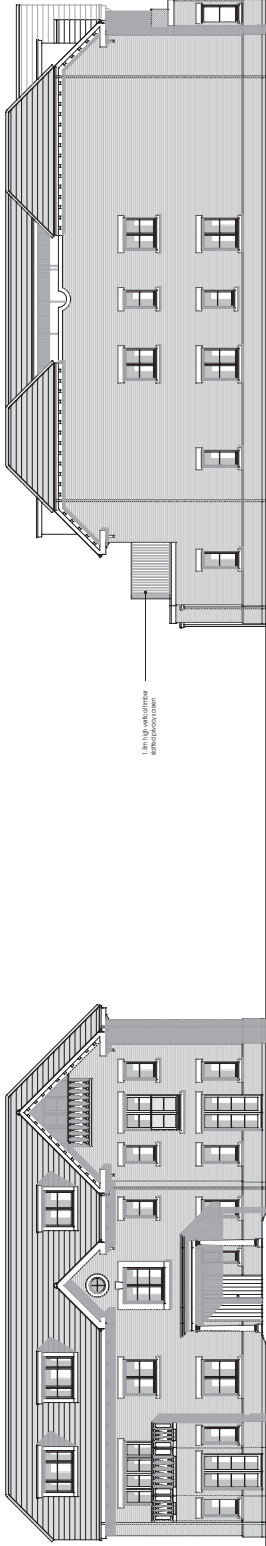


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0 5m 10m

A1 DRAWING

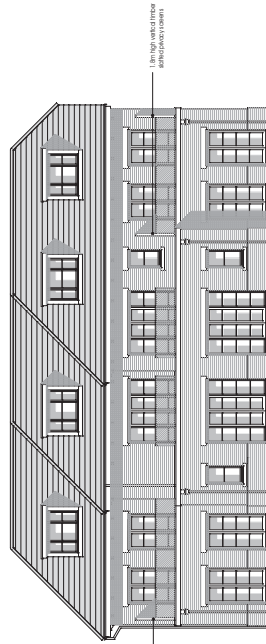


SCHEDULE OF EXTERNAL MATERIALS	
external walls	red bricks facing brickwork
pitched roofs	natural slates
windows	white spc double glazed
window head/illuminations	reconstituted stone
parapet copings	reconstituted stone
facias	white spc
rooftops	timber clatter glazed
balustrading	reconstituted stone
metal balustrading	galvanised hotdip
entrance portico	reconstituted stone
chimneys	lead clad

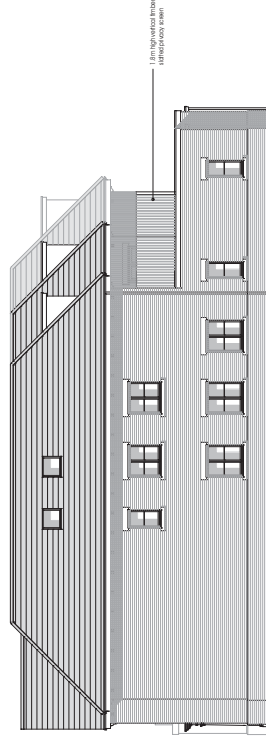


proposed front elevation

proposed side elevation





proposed rear elevation

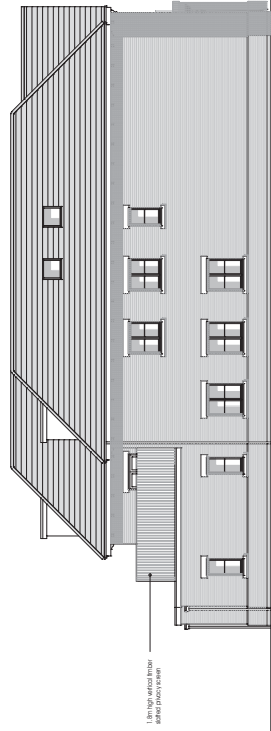


proposed side elevation

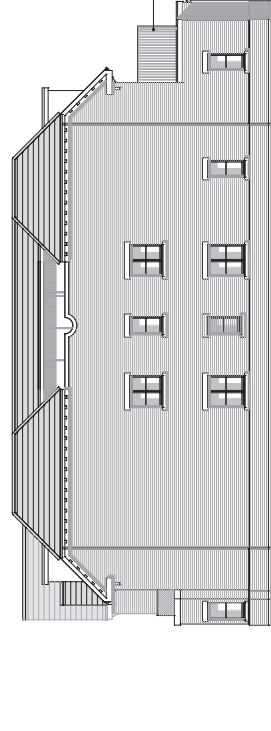
BLOCK A

 <p>db crcher architects working at local level</p>	<p>DATE: DECEMBER 2014</p>	<p>SCALE: 1:100 @ A1</p>	<p>ORIENTED: GR</p>	
	<p>PROJECT: REDEVELOPMENT OF 46 & 48 LANCASTER AVENUE HADLEY WOOD LONDON EN4 0ET</p>	<p>CLIENT: HOMES LTD</p>	<p>DATE: 15/12/14</p>	<p>PROJECT: PLANNING</p>
<p>PROJECT: REDEVELOPMENT OF 46 & 48 LANCASTER AVENUE HADLEY WOOD LONDON EN4 0ET</p>	<p>CLIENT: HOMES LTD</p>	<p>DATE: 15/12/14</p>	<p>PROJECT: PLANNING</p>	<p>DATE: 15/12/14</p>
<p>PROJECT: REDEVELOPMENT OF 46 & 48 LANCASTER AVENUE HADLEY WOOD LONDON EN4 0ET</p>	<p>CLIENT: HOMES LTD</p>	<p>DATE: 15/12/14</p>	<p>PROJECT: PLANNING</p>	<p>DATE: 15/12/14</p>

SCHEDULE OF EXTERNAL MATERIALS	
external walls	red bricks facing brickwork
pitched roofs	natural slates
windows	white spec double glazed
window head/illuminations	reconstituted stone
parapet copings	reconstituted stone
facias	white spec
nooflights	timber clouster glazed
balaustrading	reconstituted stone
lift/escalator	granite nosings
entrance portico	reconstituted stone
dormers	lead clad



proposed front elevation



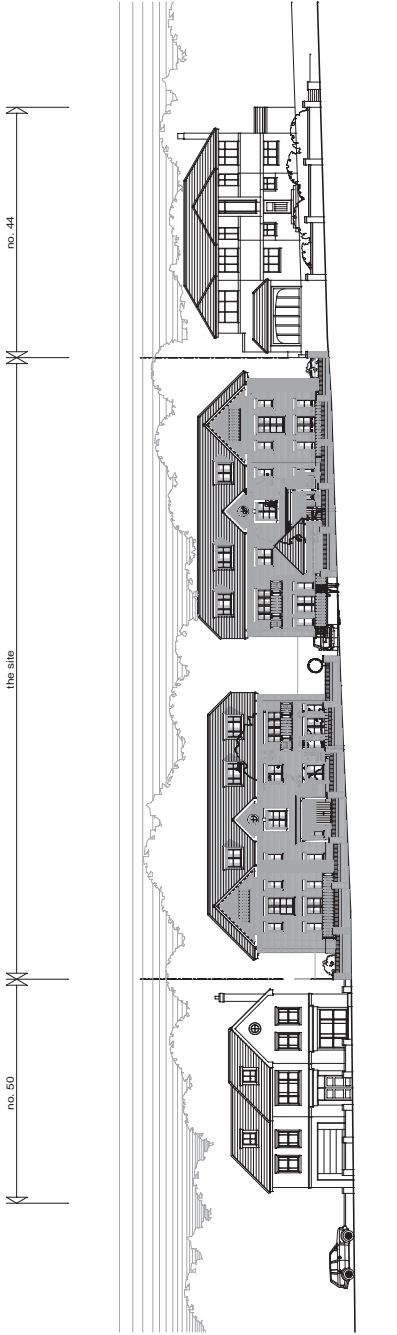
proposed side elevation



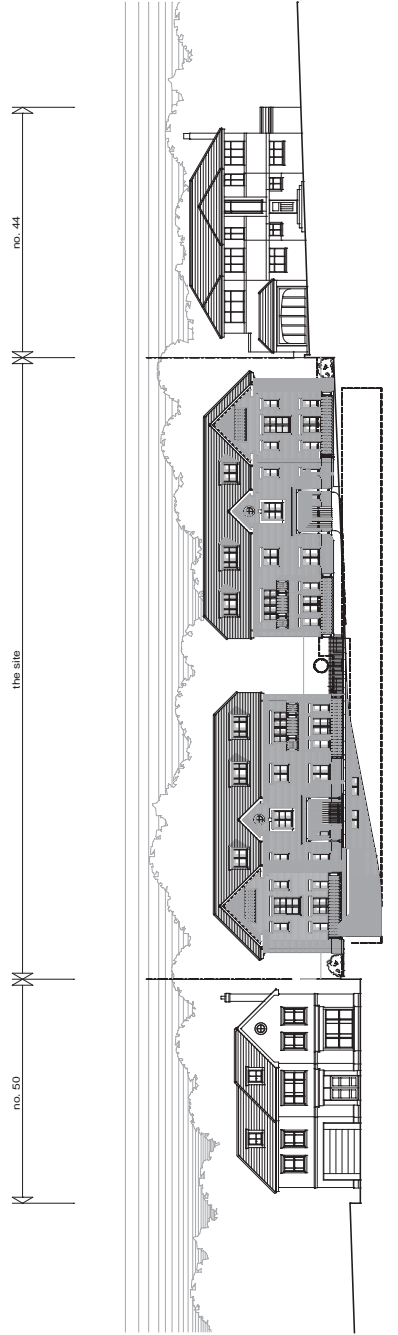
proposed rear elevation

BLOCK B

	REVISION DATE DESCRIPTION	DATE DECEMBER 2014	DRAWN GR	CHECKED	SCALE 1:100 @ A1	PROJECT REDEVELOPMENT OF 46 & 48 LANCASTER AVENUE HADLEY WOOD LONDON EN4 0ET	DRAWN TITLE PLANNING	DATE HOMES LTD	DRAWN HOMES LTD	DRAWN 5104 P 122
	A1 DRAWING	PROJECT BLOCK B PROPOSED ELEVATIONS	CONTACT INFORMATION: 10 Moorfields Lane, High Street, Herts, SG9 3JH, T: 01438 346946, www.dba-architects.co.uk, working@dba-architects.co.uk, @dbaarchitects	PROJECT TITLE	DRAWN 5104 P 122					



proposed lancaster avenue elevation



proposed ifront elevation (through vehicle ramp)



LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 21st July 2015

Report of

Assistant Director, Planning,
Highways & Transportation

Contact Officer:

Andy Higham 020 8379 3848
Sharon Davidson 020 8379 3841
Mr Sean Newton 020 8379 3851

Ward:

Chase

Ref: 15/01788/RE4

Category: LBE - Dev by LA

LOCATION: Orchardside Nurseries, Bullsmoor Lane, Enfield, EN1 4RL

PROPOSAL: Demolition of existing bungalow and horticultural glasshouses and erection of a single storey Secondary Tuition Centre (D1 use) for upto 100 pupils with associated car parking, multi use games ares at rear and associated landscaping.

Applicant Name & Address:

Mr Andrew Fraser
London Borough of Enfield
Civic Centre
Silver Street
Enfield
EN1 3XA
United Kingdom

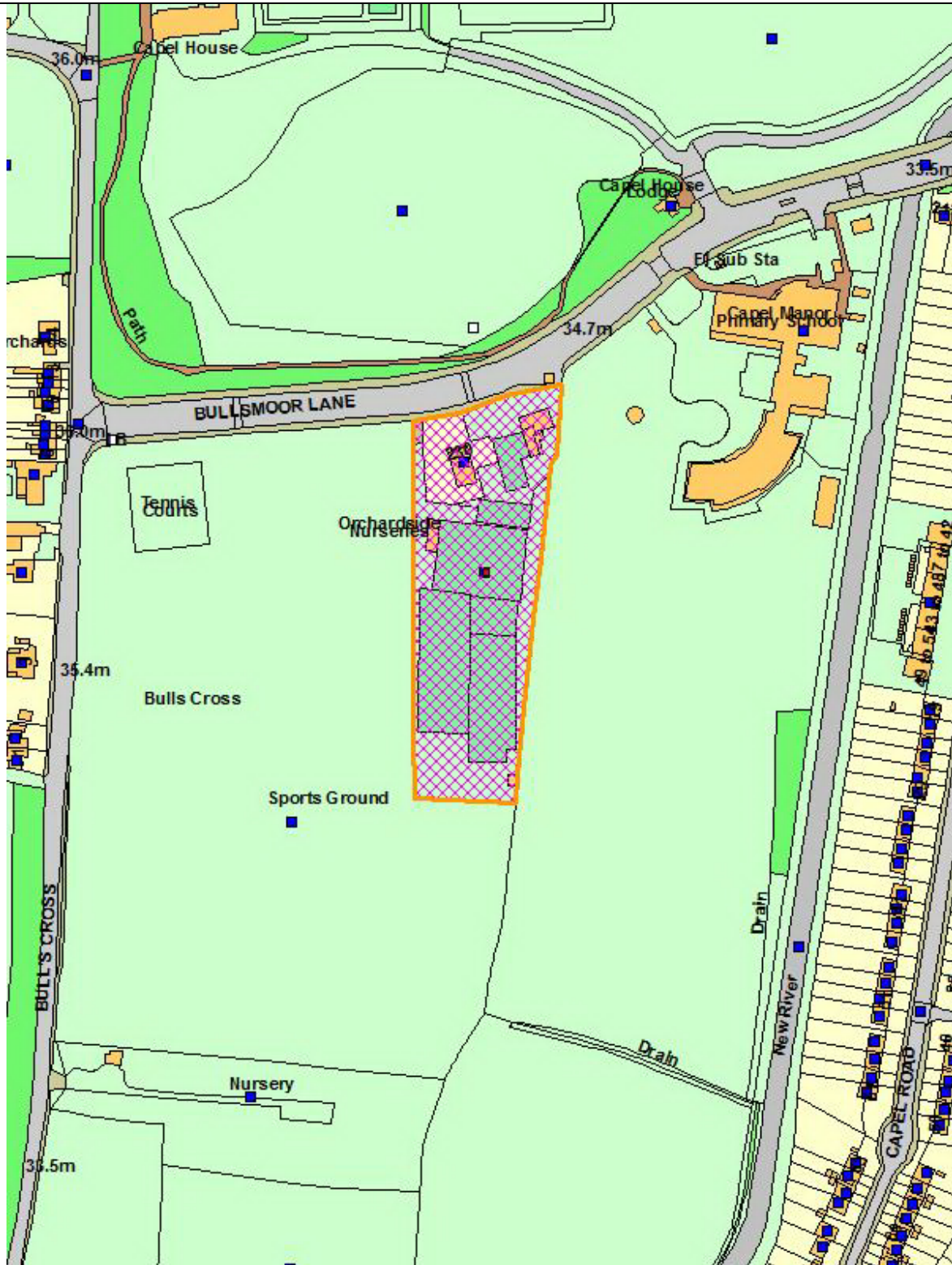
Agent Name & Address:

Mr Andrew Fraser
London Borough Of Enfield
Civic Centre
Silver Centre
Enfield
EN1 3XA

RECOMMENDATION:

That following referral to the Mayor of London and no objections being raised, as well as referral to the Secretary of State and no objections being raised, the Head of Development Management or the Planning Decisions Manager be authorised to **GRANT** planning permission in accordance with Regulation 4 of the Town & Country Planning General Regulations 1992 subject to conditions.

Ref: 15/01788/RE4 LOCATION: Orchardside Nurseries, Bullsmoor Lane, Enfield, EN1 4RL



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Scale 1:1250

North



1. Site and Surroundings

- 1.1. The site comprises an area of 0.85ha of land with two distinct elements: a former horticultural unit occupied by vacant glasshouses (Orchardside Nursery), and a residential bungalow sited in the north-west corner. The glasshouses extend along the majority of the site and the entire site is covered in hardstanding. The bungalow, which has previously been extended to the rear and into the roof space, is completely enclosed by boundary vegetation.
- 1.2. To the east is Capel Manor Primary. The school buildings are located towards the eastern side of the site. To the west and south of the site are the playing fields which form the Bullsmoor Open Space. On the opposite side of Bullsmoor Lane is the Capel Manor estate. Views into the estate are limited by the high brick wall, some fencing and a screen of mature vegetation.
- 1.3. The site sits within the Forty Hill Conservation Area and the Metropolitan Green Belt.

2. Amplification of Proposal

- 2.1. Permission is sought for the demolition of an existing bungalow and horticultural glasshouses and the erection of a single storey Secondary Tuition Centre for up to 100 pupils with associated car parking, multi-use games area at rear and associated landscaping.
- 2.2. The proposed building will have a maximum depth of approximately 108m and a maximum width of 43m, providing an overall floor area of 2,583sqm.
- 2.3. The hall, which is sited towards the front of the site, will have an overall height of approximately 8.7m
- 2.4. Parking spaces will be provide on either side of the building and will include a total of 28 car spaces (inclusive of 1 disabled space), 2 minibus spaces and a space for service vehicles. In addition, cycle parking will be provided for 28 bicycles.
- 2.5. Accommodation for 44 FTE staff and up to 100 pupils. The school will be operational between 7am and 6pm Monday to Friday during term time. Outside of school hours and during school holidays, it is proposed that the facilities could be used by the wider community.

3. Relevant Planning Decisions

- 3.1. Planning permission was granted in 1968 for a display conservatory (ref: TP/68/0557). Various applications have been made in relation to the existing nursery use.

4. Consultations

4.1. Statutory and non-statutory consultees

Conservation Officer

- 4.1.1. The following comments have been made:

“The compact plan form of the settlement, with a tight cluster of buildings set close to the road, makes a strong contribution to the character of the area. This prevailing settlement pattern is continued in the scheme, through the daring decision to site the building to the northern boundary of the site, creating a strong frontage along Bullsmoor Lane emphasized by the double height school hall. Despite being unashamedly bold in its approach, the siting of the building and use of materials are contextual and draw on the rich vernacular traditions found in the surrounding area, arguably giving the building a strong ‘sense of place’.

I fully support the removal of existing poor quality structures that will act to enhance the surrounding conservation area, in addition to the setting of nearby listed buildings. Moreover, the proposed scheme will arguably have a minimal impact on the significance of surrounding designated heritage assets due to the limited views into the site, particularly from Capel Manor and the Pied Bull Public House.

The revised scheme features a reduction in height and the introduction of extensive timber cladding (birch). The amended design does a good job of breaking up the significant scale and massing of the building, through the use of light weight materials and introduction of regular bay rhythms. The floating zinc roof with integrated canopy acts to tie the structure together, creating a strong visual presence in the streetscape, in addition to picking up on the silver hues of the birch cladding. The timber boarding acts to integrate the building with its semi-rural surroundings and draws on several precedents of vernacular building typologies found in the surrounding area.

It remains unclear from the proposals exactly how signage is to be employed in the scheme. I maintain that any signage should be integrated into design and not seen as an afterthought. Further details of any proposed signage should be subject to conditions to ensure that it is in keeping with the building and surrounding conservation area.

I would strongly recommend that any approval be subject to comprehensive materials conditions requiring the submission of samples in addition to sufficiently detailed drawings.

Due to the site’s location in an Archaeological Priority Area, I would strongly recommend that robust archaeological conditions be placed on any planning permission”

Historic England (GLAAS)

- 4.1.2. No objections are raised subject to securing a Written Scheme of Investigation due to the close proximity of the Roman Ermine Street.

The Environment Agency

- 4.1.3. The development is considered to pose a low environmental risk to flooding, controlled waters and the water environment.

Thames Water

- 4.1.4. In relation to surface water drainage, it has been advised there are no objections with regard to sewerage infrastructure capacity.
- 4.1.5. With regard to surface water drainage, the developer is responsible for making proper provision for drainage to ground, water courses or a suitable sewer and any connections to the public sewer will require Thames Water approval.

4.1.6. In relation to water infrastructure capacity, the developer is advised to note the minimum pressure provided by Thames Water of 10m head and a flow rate of 9 litres/minute.

4.1.7. It has also been advised that no impact piling should be permitted to take place until a piling method statement has been approved, in order to prevent / minimise the potential for damage to subsurface infrastructure.

Environmental Health

4.1.8. It has been advised that there are no objections as there is unlikely to be a negative environmental impact. There are no particular concerns relating to air quality, noise or contaminated land.

Traffic & Transportation

4.1.9. It has been advised that there are no objections.

Tree Officer

4.1.10. It is advised that there are no objections subject to the provision of Tree Protection Plan and an Arboricultural Plan in accordance with BS5837:2012, in addition to an appropriate landscaping plan.

Conservation Advisory Group

4.1.11. No objections have been raised.

SuDS Officer

4.1.12. The Sustainable Drainage Strategy provided is considered adequate.

4.2. Public response

4.2.1. Letters were sent to 65 adjoining and nearby residents in addition to statutory publicity. As a result, two letters of objection (one from the LVRPA) have been received raising the following points:

Impact on Character of Area

- The CA is defined by a series of narrow lanes serving large residential properties some of which have been converted to business use; this physical character creates a quasi-rural ambience which policy and local decisions should aim to preserve. The addition of a use which could generate significant volumes of traffic at specific times adding to existing problems of local congestion would undermine the essential character of the CA and run counter to advice contained in the NPPF which advises that heritage assets should be respected

Highway Issues

- Although the Transport Assessment indicates that a retail nursery theoretically can generate more trips than that which could be generated through the proposal, these trips would have been spread over the length of the working day. Effectively this equates to about 60 trips per hour. In contrast the anticipated trips

generated by the application will result in 327 daily trips in the two peak periods, approximately 100 trips per hour.

- Trip generation for the proposed development will occur when road capacity is at a premium.
- Although the section of Bullsmoor Lane west from the A10 is wide it is often close to capacity at peak times because of the number of trips made to the primary school which lies on an adjacent site. However, other roads such as Whitewebbs Lane and Bulls Cross do not have the same capacity but are still subject to considerable volumes of traffic due to the Forty Hill School and the fact that they are regularly used as rat runs to avoid the 'controlled' junctions along the Cambridge Road. Of critical importance is the impact of this high level of traffic on the amenity of the conservation area.
- It is unclear how the proposal will address the high level of accidents recorded as part of the TA rather than exacerbating this matter. Measures should be put in place irrespective of the final decision on this application to improve matters.

Other matters raised

- Although such facilities are necessary, how can a school for disruptive pupils be located next to a primary school?

5. Relevant Policy

5.1. The London Plan

Policy 3.16	Protection and enhancement of social infrastructure
Policy 3.18	Education facilities
Policy 5.1	Climate change mitigation
Policy 5.2	Minimising carbon dioxide emissions
Policy 5.3	Sustainable design and construction
Policy 5.5	Decentralised energy networks
Policy 5.6	Decentralised energy in development proposals
Policy 5.7	Renewable energy
Policy 5.8	Innovative energy technologies
Policy 5.9	Overheating and cooling
Policy 5.10	Urban greening
Policy 5.11	Green roofs and development site environs
Policy 5.12	Flood risk management
Policy 5.13	Sustainable drainage
Policy 5.14	Water quality and wastewater infrastructure
Policy 5.15	Water use and supplies
Policy 5.16	Waste net self-sufficiency
Policy 5.18	Construction, excavation and demolition waste
Policy 5.21	Contaminated land
Policy 6.3	Assessing the effects of development on transport capacity
Policy 6.5	Funding Crossrail and other strategically important infrastructure
Policy 6.7	Better streets and surface transport
Policy 6.9	Cycling
Policy 6.10	Walking
Policy 6.11	Smoothing traffic flow and tackling congestion
Policy 6.12	Road network capacity
Policy 6.13	Parking
Policy 7.1	Lifetime neighbourhoods
Policy 7.2	An inclusive environment

Policy 7.3	Designing out crime
Policy 7.4	Local character
Policy 7.5	Public realm
Policy 7.6	Architecture
Policy 7.8	Heritage assets and archaeology
Policy 7.13	Safety, security and resilience to emergency
Policy 7.14	Improving air quality
Policy 7.15	Reducing noise and enhancing soundscapes
Policy 7.16	Green Belt
Policy 7.19	Biodiversity and access to nature
Policy 7.21	Trees and woodlands
Policy 8.2	Planning obligations
Policy 8.3	Community Infrastructure Levy

5.2. Core Strategy

CP8:	Education
CP9:	Supporting community cohesion
CP11:	Recreation, leisure, culture and arts
CP16:	Taking part in economic success and improving skills
CP20:	Sustainable energy use and energy infrastructure
CP21:	Delivering sustainable water supply, drainage and sewerage infrastructure
CP22:	Delivering sustainable waste management
CP24:	The road network
CP25:	Pedestrians and cyclists
CP26:	Public transport
CP28:	Managing flood risk through development
CP30:	Maintaining and improving the quality of the built and open environment
CP31:	Built and landscape heritage
CP32:	Pollution
CP33:	Green Belt and countryside
CP36:	Biodiversity
CP46:	Infrastructure contributions

5.3. Development Management Document

DMD10	Distancing
DMD16	Provision of New Community Facilities
DMD17	Protection of Community Facilities
DMD37	Achieving High Quality Design-Led Development
DMD38	Design Process
DMD42	Design of Civic / Public Buildings and Institutions
DMD44	Conserving and Enhancing Heritage Assets
DMD45	Parking Standards
DMD47	Access, New Roads and Servicing
DMD48	Transport Assessments
DMD49	Sustainable Design and Construction Statements
DMD50	Environmental Assessment Methods
DMD51	Energy Efficiency Standards
DMD52	Decentralised Energy Networks
DMD53	Low and Zero Carbon Technology
DMD54	Allowable Solutions
DMD55	Use of Roof Space / Vertical Surfaces
DMD56	Heating and Cooling
DMD57	Responsible Sourcing of Materials

DMD58	Water Efficiency
DMD59	Avoiding and Reducing Flood Risk
DMD60	Assessing Flood Risk
DMD61	Managing Surface Water
DMD62	Flood Control and Mitigation Measures
DMD64	Pollution Control and Assessment
DMD65	Air Quality
DMD66	Land Contamination and Instability
DMD68	Noise
DMD69	Light Pollution
DMD70	Water Quality
DMD78	Nature Conservation
DMD79	Ecological Enhancements
DMD80	Trees on Development Sites
DMD81	Landscaping
DMD82	Protecting the Green Belt
DMD84	Areas of Special Character
DMD89	Previously Developed Sites in the Green Belt

5.4. Other Relevant Policy Considerations

National Planning Policy Framework
National Planning Practice Guidance
Enfield Characterisation Study
Forty Hill Conservation Area Character Appraisal (2015)
Community Infrastructure Levy Regulations 2010

6. Analysis

6.1. Principle

6.1.1. Although the provision for facilities for educational purposes is acceptable in principle, notwithstanding that the development must still satisfy all material planning considerations such as its impact on neighbouring amenity and highway matters, the development raises a number of “in principle” issues. These include: development which affects heritage assets and the level of harm, if any, that arises from the proposal; development within the Green Belt; and the need for such a facility in the proposed location.

6.2. Heritage Considerations

Statutory background

6.2.1. Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (“Listed Buildings Act”) confirm that special attention shall be paid to the desirability of preserving a listed building or its setting (s.66) and preserving or enhancing the character or appearance of that area (s.72). As confirmed by the Court of Appeal (Civil Division), the decision in Barnwell Manor Wind Energy Ltd v East Northamptonshire District Council [2014] EWCA Civ 137, it was concluded that where an authority finds that a development proposal would harm the setting of a listed building or the character and appearance of a conservation area, it must give that harm “*considerable importance and weight*”.

- 6.2.2. In The Forge Field Society & Ors, R v Sevenoaks District Council [2014] EWHC 1895 (Admin), Lindblom J. reconfirmed the *Barnwell* judgement and the considerations to be undertaken by a planning authority by observing at para.49 that:

“when having to give considerable importance and weight to any harm it did not mean that an authority’s assessment of likely harm to the setting of a listed building or to a conservation area is other than a matter for its own planning judgement. It does not mean that the weight the authority should give to harm which it considers would be limited or less than substantial must be the same as the weight it might give to harm which would be substantial. But it is to recognize...that a finding of harm...gives a strong presumption against planning permission being granted. The presumption is a statutory one. It is not irrebuttable. It can be outweighed by material considerations powerful enough to do so. But an authority can only properly strike the balance between harm to a heritage asset on the one hand and planning benefits on the other if it is conscious of the statutory presumption in favour of preservation and demonstrably applies that presumption to the proposal it is considering”

- 6.2.3. In a court ruling in November 2014, in R. (on the application of Hughes) v South Lakeland DC [2014] EWHC 3979 (Admin), the court addressed the correct approach to assessing development proposals in a conservation area as well as covering the approach to heritage in the NPPF. Judge Waksman QC addressed relevant guidance at paras 131-135 NPPF. He explained that in a para.134 case, harm to a designated heritage asset was to be given more weight than it would if it were simply one of a number of factors to be considered. Where non-designated heritage assets were being considered the harm was to be taken into account as part of a ‘balanced judgment’ (paras 50-53 see NPPF para. 135).

- 6.2.4. A more recent ruling on 5 January 2015, Pugh v Secretary of State for Communities and Local Government [2015] EWHC 3 (Admin), Gilbart J considered at paras.49 and 50 that:

“Like Judge Waksman QC in Hughes v South Lakeland, in my view paragraph 134 of NPPF can be a trap for the unwary if taken out of context. I agree with his approach that the significance of a heritage asset still carries weight at the balancing stage required by paragraph 134, and to the extent that Kenneth Parker J in Colman v Secretary of State for Communities and Local Government & Ors [2013] EWHC 1138 and Jay J in Bedford Borough Council v SSCLG [2013] EWHC 2854 suggest otherwise, I prefer the approach of Judge Waksman QC. Thus, the value and significance of the asset, whatever it may be, will still be placed on one side of the balance. The process of determining the degree of harm, which underlies paragraph 132 of NPPF, must itself involve taking into account the value of the heritage asset in question. That is exactly the approach that informed the Addendum Assessment upon which Mr Harwood relies. The later assessment also addressed the value of the asset, and then the effect of the proposal on that value. Not all effects are of the same degree, nor are all heritage assets of comparable significance, and the decision maker must assess the actual significance of the asset and the actual effects upon it.

50. But one must not take it too far so that one rewrites NPPF. It provides a sequential approach to this issue. Paragraphs 126-134 are not to be read in isolation from one another. There is a sequential approach in paragraphs 132 -4 which addresses the significance in planning terms of the effects of proposals on designated heritage assets. If, having addressed all the relevant considerations about value, significance and the nature of the harm, and one has then reached the point of concluding that the level of harm is less than substantial, then one must use the test

in paragraph 134. It is an integral part of the NPPF sequential approach. Following it does not deprive the considerations of the value and significance of the heritage asset of weight: indeed it requires consideration of them at the appropriate stage. But what one is not required to do is to apply some different test at the final stage than that of the balance set out in paragraph 134. How one strikes the balance, or what weight one gives the benefits on the one side and the harm on the other, is a matter for the decision maker. Unless one gives reasons for departing from the policy, one cannot set it aside and prefer using some different test'

National Guidance

- 6.2.5. Section 12 of the National Planning Policy Framework (“NPPF”) (Conserving and enhancing the historic environment) advises LPAs to recognise heritage assets as an “irreplaceable resource” and to “conserve them in a manner appropriate to their significance” (para. 126).
- 6.2.6. When determining planning applications, LPAs are advised to take into account of:
- *“the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
 - *the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*
 - *the desirability of new development making a positive contribution to local character and distinctiveness”* (para.131)
- 6.2.7. Paragraph 132 confirms that it is the significance of the heritage asset upon which a development proposal is considered and that “*great weight should be given to the asset’s conservation*”. LPAs need to consider whether a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset. Proposals that lead to substantial harm or loss to a designated heritage asset should be refused unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh the harm or loss, or it meets with the test identified at paragraph 133. Where a development will lead to less than substantial harm, the harm is to be weighed against the public benefits of the proposal, including securing its optimum viable use (para. 134).
- 6.2.8. Paragraph 135 provides guidance in relation to non-designated heritage assets. The development proposal must also be assessed against the significance of the heritage asset, and “*a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset*”.
- 6.2.9. In addition, at paragraph 137, LPAs are also advised to look for opportunities for new developments within conservation areas and within the setting of heritage assets to better reveal their significance. Where a proposal preserves those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably.
- 6.2.10. The NPPF provides a glossary of terminology at Appendix 2. The relevant heritage terms include:
- **“Heritage Asset:** *A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions*

because of its heritage interest. Heritage asset includes designated heritage assets and assets identified by the local planning authority (including local listing).

- **Setting of a heritage asset:** *The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral*
- **Significance (for heritage policy):** *The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting."*

6.2.11. The National Planning Practice Guidance ("NPPG") provide some guidance on the term "public benefit" at paragraph 20:

"Public benefits may follow from many developments and could be anything that delivers economic, social or environmental progress as described in the National Planning Policy Framework (Paragraph 7). Public benefits should flow from the proposed development. They should be of a nature or scale to be of benefit to the public at large and should not just be a private benefit. However, benefits do not always have to be visible or accessible to the public in order to be genuine public benefits.

Public benefits may include heritage benefits, such as:

- *sustaining or enhancing the significance of a heritage asset and the contribution of its setting*
- *reducing or removing risks to a heritage asset*
- *securing the optimum viable use of a heritage asset in support of its long term conservation"*

6.2.12. A "benefit" is not limited solely to heritage benefits but also to all material planning benefits arising from a particular scheme, providing that they meet with the relevant policy tests for conditions and obligations.

6.2.13. The NPPG advises that the extent and importance of setting is often expressed by reference to visual considerations. Although views of or from an asset will play an important part, the way in which the asset is experienced is also influenced by other environmental factors such as noise, dust and vibration from other land uses in the vicinity, and by our understanding of the historic relationship between places.

6.2.14. The NPPG also advises that the conservation of heritage assets in a manner appropriate to their significance is a core planning principle. It also advises that conservation is an "*active process of maintenance and managing change*". Heritage assets are an irreplaceable resource and effective conservation delivers wider social, cultural, economic and environmental benefits.

6.2.15. Significance, as advised within the NPPF derives not only from a heritage asset's physical presence but also from its setting. When assessing significance, it is advised that great weight should be given to the asset's conservation and the more important the asset, the greater the weight to be applied. Where a development leads to less than substantial harm to the significance of the heritage asset, the harm should be weighed against the public benefits of the proposal, including its optimum viable use.

The NPPG advises that what matters in assessing if a proposal causes substantial harm is the impact on the significance of the heritage asset. It does also advise that 'substantial harm' is a high test, so may not arise in many cases.

Local Plan

6.2.16. Planning law requires that planning applications are determined in accordance with the development plan unless material considerations indicate otherwise, as confirmed at s.38(6) of the Planning and Compulsory Purchase Act 2004 ("the 2004 Act") and s.70(2) of the Town and Country Planning Act 1990 ("T&CPA 1990"). The Local Plan, as confirmed at s.38(2) of the 2004 Act, comprises of: the Spatial Development Strategy for Greater London ("London Plan"), the Enfield Plan Core Strategy 2010-2015 ("Core Strategy") and the Development Management Document ("DMD").

6.2.17. London Plan policy 7.8 (Heritage Assets and Archaeology) advises that at a strategic level, London's heritage assets and historic environment should be identified

Strategic

- A. *London's heritage assets and historic environment, including listed buildings, registered historic parks and gardens and other natural and historic landscapes, conservation areas, World Heritage Sites, registered battlefields, scheduled monuments, archaeological remains and memorials should be identified, so that the desirability of sustaining and enhancing their significance and of utilising their positive role in place shaping can be taken into account.*
- B. *Development should incorporate measures that identify, record, interpret, protect and, where appropriate, present the site's archaeology.*

Planning decisions

- C. *Development should identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate.*
- D. *Development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail.*
- E. *New development should make provision for the protection of archaeological resources, landscapes and significant memorials. The physical assets should, where possible, be made available to the public on-site. Where the archaeological asset or memorial cannot be preserved or managed on-site, provision must be made for the investigation, understanding, recording, dissemination and archiving of that asset.*

LDF preparation

- F. *Boroughs should, in LDF policies, seek to maintain and enhance the contribution of built, landscaped and buried heritage to London's environmental quality, cultural identity and economy as part of managing London's ability to accommodate change and regeneration.*
- G. *Boroughs, in consultation with English Heritage, Natural England and other relevant statutory organisations, should include appropriate policies in their LDFs*

for identifying, protecting, enhancing and improving access to the historic environment and heritage assets and their settings where appropriate, and to archaeological assets, memorials and historic and natural landscape character within their area.

6.2.18. Core Policy 31 (Built and Landscape Heritage) confirms that the Council will implement national and regional policies and work with partners to “*pro-actively preserve and enhance all of the Borough’s heritage assets*”. This is to be achieved by the following:

- *Reviewing heritage designations and their boundaries where appropriate, and continuing to maintain non-statutory, local lists and designations based on formally adopted criteria;*
- *Ensuring that built development and interventions in the public realm that impact on heritage assets have regard to their special character and are based on an understanding of their context. Proposals within or affecting the setting of heritage assets will be required to include a thorough site analysis and character appraisal which explicitly demonstrates how the proposal will respect and enhance the asset;*
- *Identifying opportunities for the repair and restoration of heritage assets and working with owners of heritage assets on English Heritage’s Heritage at Risk Register to find viable solutions to secure the asset’s long-term future. Where necessary, the Council will make full use of its legislative powers to ensure their preservation;*
- *Ensuring developments in areas of archaeological importance take into account the potential for new finds by requiring consultation with English Heritage and on-site investigations, including the appropriate recording and dissemination of archaeological evidence;*
- *Supporting appropriate initiatives which increase access to historic assets, provide learning opportunities and maximise their potential as heritage attractions, particularly at Forty Hall and the Area of Special Character in the north west of the Borough; and*
- *Finding new ways to record and recognise Enfield’s intangible heritage resources and, where possible, open up wider public access to them.*

6.2.19. The DMD was adopted by the Council in November 2014. The policies contained therein are consistent with the NPPF and therefore carry considerable weight. Policy DMD44 (Preserving and Enhancing Heritage Assets) confirms the following:

1. *Applications for development which fail to conserve and enhance the special interest, significance or setting of a heritage asset will be refused*
2. *Development affecting heritage assets or their setting should seek to complement the asset in all aspects of its design, materials and detailing*
3. *All applications affecting heritage assets or their setting should include a Heritage Statement. The applicant will also be required to record and disseminate detailed information about the asset gained from desk-based and on-site investigations. Information should be provided to the Local Planning Authority, Historic Environment Record and English Heritage. In some circumstances, a Written Scheme of Investigation will be required.*

6.2.20. The site falls within the Forty Hill Conservation Area and in particular, is sited on the periphery of two areas defined in the Character Appraisal as “Character Area C: Capel Manor” and “Character Area F: Bull’s Cross”.

6.2.21. The Capel Manor character area is described throughout section 2.7 of the Character Appraisal. Its special interest is summarised at para .2.7.5 as being:

- *The presence of the intact core of a historic country estate, including house, walled kitchen garden and stable block and its immediate setting of formal gardens and parkland.*
- *Capel Manor and the Stable block are important historic buildings, with considerable visual presence.*
- *The high-quality formal and informal landscaping. This has developed over the past two centuries and continues to develop, providing an attractive setting for the key historic buildings.*
- *The enclosed nature of the estate, which is a discrete unit, effectively cut off from the surrounding landscape.*

6.2.22. The *Problems and pressures* of this character area are identified at para. 2.7.6 and relate to issues within the walled estate.

6.2.23. The Bulls Cross character area is described throughout section 2.10 of the Character Appraisal. The special interest for this character area is summarised at para 2.10.5 as being:

- *The retention of the character and appearance of a linear rural hamlet, which has changed little since the late 19th century.*
- *The presence of a group of attractive buildings. Most of the buildings make a positive contribution to the appearance of the area as a whole and have a cohesive vernacular character. The two earliest buildings, The Pied Bull public house and The Orchards are of particular historic interest.*
- *The compact plan form of the settlement, with a tight cluster of buildings set close to the road, makes a strong contribution to the atmosphere of a rural hamlet.*
- *Property boundaries, generally white painted picket fences, give the area a uniform and distinctive appearance.*

6.2.24. The *Problems and pressures* of this character area are identified at para. 2.10.6. The principal issue is identified as being the loss of original architectural detail and alterations to boundaries. Additional pressures include the “*bleak, municipal appearance*” of the south side of Bullsmoor Lane, the excessive width of the road, the volume of traffic and the large number of cars parked on Bullsmoor Lane all detracting from the rural atmosphere.

6.2.25. Of additional note is the summary of special interest of the conservation area as a whole, identified at para. 3.1.1:

- *The long history of occupation. With continuity of occupation back to medieval times, and evidence of use in the Roman and prehistoric periods, Forty Hill is an area rich in history and archaeology, with clear evidence of time depth.*
- *The presence of the intact core of three historic country estates - including the houses, kitchen gardens, stables and immediate settings of formal gardens and parkland.*
- *The survival of three historic hamlets, each with a distinctive, linear settlement pattern. Two of these, Bull’s Cross and Maiden’s Bridge, have a vernacular*

character. The third, Forty Hill, has more the character of a genteel suburb. In all the areas, the low density of development, often including large spaces between buildings, is an important factor.

- *The presence of extensive open land. This helps to preserve the individual nature of each settlement and gives the historic estates and hamlets an attractive landscape setting, particularly where it is parkland, woodland or agricultural land rather than playing fields. The setting of Forty Hill and Myddelton House are particularly enhanced by the shallow valley around the Turkey Brook, which facilitates good views of both houses.*
- *The architectural quality of many of the buildings. The Conservation Area contains a variety of important historic buildings, ranging from simple vernacular houses and spacious classical houses, to a house (Forty Hill) of outstanding national importance. Together, these buildings make a major and significant contribution to the character and appearance of an interesting and attractive area.*
- *Distinctive property boundaries. A mixture of high walls, hedges, railings and picket fences gives each character area a highly distinctive appearance. In addition, high boundary walls or hedges define and enclose the public frontages of the three country estates.*
- *The absence of extensive modern development in the area. The appearance, superficially at least, of much of the area has not significantly altered since the 19th century. This creates the pleasing impression that the area has been bypassed by modern life. A major recent exception is the football training ground, which intrudes on what was previously an undeveloped agrarian landscape, of considerable archaeological and historic significance.*

6.2.26. At para. 4.1.1 it is recognised that although there are different pressures for each character area, a number of common pressures are identified (expanded below where considered applicable:

- *Inappropriate alterations to buildings*
- *Poor quality treatment of property boundaries*
- *Poor quality streetworks*
- *Derelict or untidy buildings or land*
- *Loss of the traditional settlement pattern - At the northern and southern extremities of the Conservation Area, the traditional settlement pattern of small-scale, linear settlements, separated by open land, has begun to break down... To the north, bungalows, nurseries and schools have encroached upon open land.*
- *Erosion of quality and character of Forty Hill park and farm*
- *The impact of municipal-style playing field and the football training grounds west of Myddelton House - playing fields are a key element of this area, particularly in the north. While these make a valuable contribution in terms of preserving open space, poor quality boundaries, [prominent infrastructure], utilitarian ancillary buildings and large areas of featureless, close-cropped grass give them a municipal [and urban appearance] which is detrimental to the area's special character*
- *The conversion of single dwellings into multiple-occupancy dwellings*

6.2.27. The proposal will have a greater or lesser impact on individual heritage assets. The factors for consideration will be:

- Proximity
- Visibility
- Compatibility of the proposal with the context and setting of the asset
- The significance of the asset
- The sensitivity to harm of the asset

6.2.28. There are several heritage assets upon which the impact of the development should be considered against:

- the Pied Bull public house (grade II listed)
- the Forty Hill Conservation Area
- Capel Estate (Capel House grade II*, Garden Wall grade II, Stable Range grade II)

6.2.29. What must therefore be determined is whether any of the elements proposed will harm the significance of the various heritage assets, having regard to the statutory requirement to give special attention to the desirability of preserving a listed building or its setting (s.66) and preserving or enhancing the character or appearance of a conservation area (s.72).

6.2.30. If any harm is identified, great weight must be given to that harm. Further to this, as advised above, if substantial harm or total loss to significance is identified, it would need to be established whether there are any substantial public benefits that would outweigh the identified harm or loss or the tests identified at para.133 of the NPPF are met. If there is less than substantial harm, the harm is to be weighed against the public benefits of the proposal, and for undesignated heritage assets, a balanced judgement must be made having regard to the scale of any harm or loss and the significance of the heritage asset. It should be noted that benefits are not limited to heritage benefits but to all material planning benefits capable of meeting the policy tests.

The Pied Bull public house (grade II)

6.2.31. The list entry detail of the Pied Bull (listed 31 January 1974) is as follows:

“House of C17 or earlier appearance. 2 storeys, 3 windows; with one-storey, one-window left extension. Projecting, one-storey gabled right wing. Rendered 1st floor oversailing on curved brackets. High pitched tiled roof with eaves broken by raised 1st floor windows. Weatherboarded ground floor. 1st floor windows are modern casements with glazing bars; ground floor windows C18 sliding sashes”

6.2.32. The above list description indicates the principle elements worthy of listing and it is acknowledged that the proposed development will not affect any of the identified elements contributing to its special character. However, consideration must also be given to the setting of a listed building. The Pied Bull is surrounded by car parking to the side and rear, with an area of seating at the front of the building.

6.2.33. The development site is well-screened from the Pied Bull PH by virtue of the boundary plantings along the western side of the playing fields and the boundary plantings along the western boundary of the site itself. The development is considered to not cause any harm to the significance or setting of the grade II listed public house.

The Forty Hill Conservation Area

6.2.34. The special character of this part of the conservation area, its pressures, and the pressures on the conservation area as a whole have been described above.

6.2.35. The site falls between the two sub-character areas of Bulls Cross and Capel Manor. The existing poor quality buildings and general appearance from the street is considered to harm the significance of this part of the Conservation Area. The

sensitively designed proposed building will enhance the appearance of the Forty Hill Conservation Area.

- 6.2.36. Having regard to those elements identified above that are of special interest to the two character areas and to the wider conservation area (the retention of the character and appearance of a linear rural hamlet; compact plan form of development, with a tight cluster of buildings set close to the road), it is considered that the proposed development does not harm the significance of the character area or the conservation area. The development proposal is therefore considered to preserve the character and appearance of the conservation area.

The Capel Estate

- 6.2.37. There are several elements to the Capel Estate which are individually listed in their own right. These include Capel House (grade II*), the garden wall to the east of Capel House (grade II), the stables and former coach house range (grade II). The full listing of the above is attached at Appendices 1-3 of this report.
- 6.2.38. The above heritage elements are sited approximately 180m, 190m and 205m distant respectively from the proposed school site. In addition, a screen of boundary vegetation limits any views to each of the aforementioned listed heritage assets. Having regard to the levels of distancing and to the vegetated boundary screen, it is considered that the proposed development will not harm the significance of any of the identified heritage assets associated with the Capel Manor Estate.
- 6.2.39. Whilst the development is considered to not harm the significance of the above heritage assets, the development site is directly opposite the Capel Manor estate, albeit the boundary wall / fence. The existing nursery, with its poor quality buildings is considered to harm the setting of the Capel Manor estate. The removal of the unattractive buildings is therefore considered to be a planning gain and one which will enhance the setting of the wider Capel Manor estate.

Archaeology

- 6.2.40. The site is within close proximity to Ermine Street, one of the major Roman roads in Britain. Although recent investigations at Myddelton Farm (ref: 14/03915/FUL) have been negative, the close proximity to Ermine Street may reveal some remains which would need to be recorded. A condition is therefore proposed to seek details of a Written Scheme of Investigation, and the publication / dissemination of the results.

Summary of Heritage Considerations

- 6.2.41. The significance of the wider conservation area, the two sub-character areas in particular, and the various listed heritage assets in close proximity is considered to not be harmed by the development proposal. The proposed scheme will result in the removal of unsympathetic buildings and their replacement with a building that has been designed with specific regard to achieving a positive impact on the conservation area in particular.
- 6.2.42. Having regard to the statutory requirement to give special attention to the desirability of preserving a listed building or its setting (s.66) and preserving or enhancing the character or appearance of a conservation area (s.72) the proposal has been assessed against the identified heritage assets as set out above. It is considered that the development proposals will not lead to any harm to the designated or undesignated heritage assets having regard to Policy 7.8 of the London Plan, Core

Policy 31, Policy DMD44 of the Development Management Document, and with section 12 of the NPPF. The development proposals must therefore now be assessed against any other material considerations, in accordance with s.38(6) of the 2004 Act and s.70(2) of the T&CPA 1990.

6.3. Green Belt Considerations

6.3.1. The NPPF confirms that the fundamental aim of the Green Belt policy is to prevent urban sprawl by keeping land permanently open and that the essential characteristics of Green Belts are their openness and their permanence (para.79).

6.3.2. The purposes of including land in the Green Belt are to:

- check the unrestricted sprawl of large built-up areas;
- prevent neighbouring towns merging into one another;
- assist in safeguarding the countryside from encroachment;
- preserve the setting and special character of historic towns; and
- assist in urban regeneration, by encouraging the recycling of derelict and other urban land.

6.3.3. It also confirms that inappropriate development is harmful to the Green Belt and should only be approved in very special circumstances (para.87) and substantial weight must be given to any harm to the Green Belt. Very special circumstances will not exist unless the potential harm to the Green Belt by reason of its inappropriateness, and any other harm, is clearly outweighed by other considerations (para.88).

6.3.4. The construction of new buildings, as advised at paragraph 89, is inappropriate in the Green Belt unless it is one of the exceptions as outlined below:

- Buildings for agriculture and forestry;
- Provision of appropriate facilities for outdoor sport, outdoor recreation and for cemeteries, as long as it preserves the openness of the Green Belt and does not conflict with the purposes of including land within it;
- The extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building;
- The replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces;
- Limited infilling in villages, and limited affordable housing for local community needs under policies set out in the Local Plan; or
- Limited infilling or the partial or complete redevelopment of previously developed sites (brownfield land), whether redundant or in continuing use (excluding temporary buildings), which would not have a greater impact on the openness of the Green Belt and the purpose of including land within it than the existing development.

6.3.5. In addition, it is also advised at paragraph 90 that certain other forms of development are also not inappropriate provided that they preserve the openness of the Green Belt and not conflict with the purposes of including land within it. These are:

- mineral extraction;
- engineering operations;
- local transport infrastructure which can demonstrate a requirement for a Green Belt location;
- the re-use of buildings provided that the buildings are of permanent and substantial construction; and
- development brought forward under a Community Right to Build Order.

- 6.3.6. Policy 7.16 of the London Plan (“Green Belt”) confirms that the strongest protection should be given to the Green Belt in accordance with national guidance. Inappropriate development is to be refused except in very special circumstances whilst development that is appropriate and helps to secure the objectives of improving the Green Belt will be supported. The above is reflected in Core Policy 33 (“Green Belt and Countryside”) and Policy DMD82 (“Protecting the Green Belt”), which provides the criteria upon which proposals are to be assessed:
- a. *“The siting, scale, height and bulk of the proposed development is sympathetic to and compatible with the prime aim of preserving the openness of the Green Belt;*
 - b. *The development has regard to site contours, displays a high standard of design and landscaping to complement and improve its setting, and takes all measures to ensure that the visual impact on the Green Belt is minimised;*
 - c. *The nature, quality, finish and colour of materials blend with the local landscape to harmonise with surrounding natural features;*
 - d. *Where possible, existing trees, hedges, bushes and other natural features are retained and integrated with the scheme to ensure adequate screening. Where this is not possible, planning permission will only be granted if adequate mitigation measures are secured; and*
 - e. *Appropriate parking provision, safe access, egress and landscaping is provided to ensure vehicles are parked safely and that the development does not prejudice the openness of the Green Belt.”*
- 6.3.7. Having regard to the policy guidance above, the proposal does involve the limited infilling or the partial or complete redevelopment of a previously developed site, therefore in this regard the proposal is not “inappropriate”. Consideration must therefore turn to whether the development will have a greater impact on the openness of the Green Belt and the purpose of including land within it than the existing development.
- 6.3.8. The existing site is predominantly built over, with a series of built structures and hardstanding. The footprint of existing structures amounts to approximately 3200sqm.
- 6.3.9. The building footprint will be reduced to approximately 2500sqm. From the rear boundary, the extent of the proposed building will be sited some 47m from that boundary. The expanse of space between these two elements will be taken up by a “hardplay” area. It is important to note that there is effectively no change to this part of the site because at present, where there is no building in situ, hardstanding is in place. The building has also been moved away from the flank boundaries to accommodate the two parking areas which immediately flank the building. In addition, the front elevation has also been pulled away from the boundary with Bullsmoor Lane. Openness around the site has therefore been increased.
- 6.3.10. Although the footprint of the building has been reduced, “openness” can still be compromised through an increase in height. The existing structures are all single storey and the tallest element of the proposed school, the hall, will be double height but will be sited at the front of the site. This is considered to be the most appropriate location because, notwithstanding design principles for civic buildings discussed below, it is the urban frontage of the site, therefore relating better to the busy road and other buildings along the road frontage. Moreover, by having the single storey elements of the building at the rear, the impact on openness is no greater than the existing.
- 6.3.11. Having regard to the above, the proposal will not have a greater impact on the openness of the Green Belt than the existing. Moreover, the proposal will not

compromise those purposes of including land within the Green Belt as outlined above. The development is “appropriate” in Green Belt terms, having regard to Policy 7.16 of the London Plan, Core Policy 33 and DMD82 of the Development Management Document, and with section 9 of the NPPF.

Need

6.3.12. Although a “very special circumstances” argument does not need to be made because the development is considered to not be “inappropriate”, the applicant has provided additional information to support the submission. This includes:

- The need for the development
- The consideration of alternative accommodation

6.3.13. Paragraph 72 of the NPPF confirms the importance the Government attaches to ensuring that there is a sufficient choice of school places available to meet the needs of existing and new communities. Local Planning Authorities (LPAs) are advised to take a proactive, positive and collaborative approach to meeting this requirement, and to development that will widen education choice. To achieve this, LPAs are to:

- *“give great weight to the need to create, expand or alter schools; and*
- *Work with school promoters to identify and resolve key planning issues before applications are submitted”.*

6.3.14. The above is also supported by London Plan Policy 3.18 where it is advised that proposals for new schools should be given positive consideration and should only be refused where there are demonstrable negative local impacts which substantially outweigh the desirability of establishing a new school and which cannot be addressed through the appropriate use of planning conditions or obligations.

6.3.15. The development will result in the amalgamation of the three Secondary Tuition (STC) sites at Eldon, Newbury and Swan Annexe, into one purpose-built facility. The existing facilities have insufficient space, the existing accommodation is deficient in specialist and general teaching areas for admin, support and storage. In addition, the external areas are restricted with no appropriate areas for recreation and PE. The existing poor facilities has affected the ability to provide a broad and balanced curriculum, with a 2010 Ofsted report noting that *“staff have had to be imaginative and creative in designing the curriculum because the poor quality accommodation is a severe constraint”*. A 2013 Ofsted report advised that to improve the school further it would need to *“address the accommodation shortcomings so that students can be offered a wider range of practically based courses”*.

6.3.16. The consolidation of the three sites into one will also produce greater efficiencies by avoiding the duplication of resources.

Consideration of Alternative Sites

6.3.17. It has been advised that a suitable location for a new STC site has been ongoing since 2004. Basic requirements include:

- A 1-2 acre site to accommodate the necessary teaching space and external outdoor play areas
- A location which was suitably distant from other secondary schools, away from influences which currently affect the students.

6.3.18. A total of 18 sites were explored. Although the majority of them were located outside of the Green Belt, either through size and site constraints or availability, but were all

ruled out. A full list of sites explored is at Table 4.1 of the submitted *Planning, Design and Access Statement*.

6.4. Impact on the Character of the Area

Design

- 6.4.1. The NPPF (section 7) confirms that the Government attaches great importance to the design of the built environment, with good design being a key aspect of sustainable development. London Plan policies 7.4, 7.5 and 7.6 confirm the requirement for achieving the highest architectural quality, taking into consideration the local context and its contribution to that context. Design should respond to contributing towards “a positive relationship between urban structure and natural landscape features...”
- 6.4.2. Civic buildings are required by DMD42 to be of a high standard and prominence within their community. They need to communicate their importance and function through architectural cues; they should positively address the public realm; have entrances which are prominent; and be designed to accommodate alternative uses.
- 6.4.3. The proposed building will have a double-height element (hall) near to the site frontage, which together with an entrance canopy that projects out to the pavement on Bullsmoor Lane, provides the prominence required. In addition, the curvature of the road has been addressed by offsetting the admin block from the school hall. Although details of signage have not been included, careful consideration will need to be given to this element. Ideally, signage should be integrated into the design of the building.
- 6.4.4. Although the entire building will be clad in timber, some individuality is achieved through the use of horizontal cladding on the northern elevation facing Bullsmoor lane and vertical cladding on the east / west elevations. Above the timber boarding on the lower elements is the continuous ribbon of clerestory windows, with the flat roof above with its windcatchers to provide some visual relief. The projecting roof forms a canopy to provide some shadow relief.
- 6.4.5. The choice of materials (timber cladding, metal fascia and dark windows / doors) is considered to be a sensitive response the sites location within the conservation area and the Green Belt. Moreover, timber is considered to respect the rural vernacular and features on other sites in the locality, for example, Capel Manor, Myddelton Farm, Myddelton House and the Pied Bull PH. A condition is proposed to secure the details of the materials to be used.
- 6.4.6. Notwithstanding the discussion above in relation to civic buildings needing to be prominent, the location of the site within the Green Belt requires taller elements to be positioned towards the road frontage in order to minimise the impact on the Green Belt in terms of harm to openness and visual amenity.
- 6.4.7. The building has been designed to enable the dual use of it outside of school hours, with the ability to segregate the school hall, changing rooms and toilets for community use.
- 6.4.8. The overall design of the building is considered to be a sensitive response to the constraints of the site and will not detract from the character and appearance of the street scene. Moreover, it will be constructed to very high sustainable design credentials, with the very achievable potential of a BREEAM rating of “Excellent”.

6.5. Impact on Neighbouring Properties

Loss of Outlook / Light / Overlooking / Loss of Privacy / Distancing

- 6.5.1. West of the site, the nearest residential properties are approximately 145m distant on the western side of Bulls Cross. These dwellings are separated by the expanse of sports field between, a row of mature Cypress trees along the boundary of the site and a further row of high vegetation along the western boundary of the sports ground.
- 6.5.2. To the east, the nearest dwelling is approximately 138m distant. With regard to the dwellings to the east, Capel Primary sits between.
- 6.5.3. Due to the level of distancing involved to nearby residential properties, it is considered that this development will not lead to a loss of outlook, light, overlooking and loss of privacy, having regard to Policy 7.6 of the London Plan, Core Policy 30, Policies DMD8 and DMD10 of the Development Management Document.

Noise

- 6.5.4. Paragraph 123 of the NPPF considers noise impacts of development. It confirms that policies and decisions should aim to:
 - avoid noise from giving rise to significant adverse impacts on health and quality of life as a result of new development;
 - mitigate and reduce to a minimum other adverse impacts on health and quality of life arising from noise from new development, including through the use of conditions;
 - recognise that development will often create some noise and existing businesses wanting to develop in continuance of their business should not have unreasonable restrictions put on them because of changes in nearby land uses since they were established; and
 - identify and protect areas of tranquillity which have remained relatively undisturbed by noise and are prized for their recreational and amenity value for this reason.
- 6.5.5. London Plan policy 7.15 encourages development proposals to manage noise through appropriately locating noisy activity away from noise sensitive receptors or through mitigation where appropriate. Core Policy 32 recognises the noise pollution should be minimised and DMD68 provides the criteria upon which developments will be assessed.
- 6.5.6. The school will be located adjacent to an existing primary school, where increased levels of noise may be experienced during school hours, against the background of traffic on the A10 and the M25. Community activities outside of school hours would largely take place within the buildings but would be subject to controlled hours of use.
- 6.5.7. It is not expected, given separation distances to the nearest residential dwellings, that there will be any harmful impact to residential occupiers during the construction phase.
- 6.5.8. Having regard to the above, it is considered that the development will not unduly impact on the existing amenity of neighbouring occupiers with regard to noise and disturbance. The development is considered to comply with Policy 7.15 of the London Plan, Core Policy 32, Policy DMD68 of the Development Management Plan.

Lighting

- 6.5.9. Paragraph 125 of the NPPF advises that through the encouragement of good design, policies and decisions should limit the impact of light pollution from artificial light on local amenity, intrinsically dark landscapes and nature conservation. The supporting text to London Plan policy 7.5 confirms the balance that must be struck between issues of safety / security and reducing light pollution. Core Policy 32 recognises the need to minimise light pollution and DMD69 confirms that development which results in light pollution that has a harmful impact on local amenity, nature conservation/wildlife and environment will not be permitted. Restrictions on the hours of operation may be imposed.
- 6.5.10. Given the sensitivities of the site, near to areas of wildlife habitat, within a conservation area and Green Belt, a lighting scheme should be designed to minimise the impact of light spillage / light trespass whilst obviously providing the necessary level of lighting for functional use. It should be noted that lighting columns are not proposed for the playing courts at the rear of the site.
- 6.5.11. An appropriately worded condition is proposed to secure the details of a lighting assessment and a lighting plan. The development should therefore have sufficient regard to the impact of lighting on adjacent sensitive receptors, having regard to Core Policy 32, Policy DMD69 of the Development Management Document.

6.6. Traffic and Highway Considerations

Traffic Generation

- 6.6.1. Policy 6.3 of the London Plan confirms that the impact of development proposals on transport capacity and the transport network are fully assessed. The proposal must comply with policies relating to better streets (Policy 6.7), cycling (Policy 6.9), walking (Policy 6.10), tackling congestion (Policy 6.11), road network capacity (6.12) and parking (Policy 6.13). Policies DMD45 and 47 provide the criteria upon which developments will be assessed with regard to parking standards / layout and access / servicing.
- 6.6.2. The site is located in an area with a poor PTAL score (1b). There is currently no off-street parking, except for the one parking space associated with the residential bungalow. The proposal would provide 28 parking spaces
- 6.6.3. The existing trip generation from the existing uses on the site (i.e. horticultural nurseries) was obtained using trip rates from the TRICS database. The TRICS database was employed because the existing site does not have a car park and in order to ascertain the mode split of people travelling to the site each person would need to be surveyed separately. The above methodology is therefore considered to be acceptable. and a summary of the trips by car modes and by all modes are provided in Tables 2 and 3 below.

Table 2: Trip Generation vehicles (2,500 sq.m)

Time	Arrivals	Departures	Total
08:00-09:00	9	1	11
09:00-10:00	7	7	14
10:00-11:00	20	20	40
11:00-12:00	40	42	82
12:00-13:00	22	22	44
13:00-14:00	26	23	49
14:00-15:00	37	25	62
15:00-16:00	23	33	56
16:00-17:00	9	17	26
17:00-18:00	3	7	10
Total	197	198	395

Table 3: Trip Generation - all modes (2,500 sq.m)

Time	Arrivals	Departures	Total
08:00-09:00	10	1	11
09:00-10:00	11	8	19
10:00-11:00	44	34	77
11:00-12:00	68	62	130
12:00-13:00	43	36	79
13:00-14:00	43	44	86
14:00-15:00	56	48	104
15:00-16:00	39	56	95
16:00-17:00	24	31	54
17:00-18:00	3	19	22
Total	339	339	679

- 6.6.4. The proposed trip generation from pupils and staff for the new school was obtained from hands up surveys from the three existing secondary tuition centres together with modal split.

Table 4: Total Pupil trip generation (100 pupils) – school hands-up survey

	Arrivals	Departures	Total
Pedestrians	8	8	16
Cyclists	3	3	6
Public Transport users	79	79	158
Vehicle passengers	10	10	20
Total	100	100	200

Table 5: Staff Trip generation (44 employees) – school hands-up surveys

	Arrivals	Departures	Total
Pedestrians	2	2	4
Cyclists	2	2	4
Public Transport users	11	11	22
Vehicle passengers + drivers	29	29	58
Total	44	44	88

- 6.6.5. Thirty nine two-way person trips have been estimated as the worst case scenario for evening meetings including 6 (two-way) vehicular trips. Based on the existing and proposed trip generation the net traffic impacts are shown in Table 6 below:

Table 6: Net Trip Generation (two-way)

	Existing	Proposed			
		Pupils	Staff	Evening	Net
Pedestrians		26	4		
Cyclists		6	4		
Public Transport Users		158	22		
Vehicles	395		52	6	-317
Vehicle passengers	126	20	6	2	
Total	679	200	88	39	-352

- 6.6.6. The results in Table 6 above indicate that the loss of the horticultural nurseries and the creation of the new school will result in an overall reduction in vehicle traffic on Bullsmoor Lane.
- 6.6.7. There have been considerable concerns from neighbouring developments on the level of additional traffic the new school is likely to generate on Bullsmoor Lane. Whilst it is acknowledged that there are delays and congestion along Bullsmoor Lane up to the A10 (Great Cambridge Road); a significant proportion of the trips are associated with through traffic trying to avoid delays between the A10 and junction 25 of the M25. It is also acknowledged that there are vehicular movements along this corridor in the AM and PM peaks from Capel Manor Primary School.
- 6.6.8. Looking at the reduction in traffic generation which is shown on Table 6, it is considered that the level of trip generation from the school overall will not be significantly increased in the wider context to cause any further adverse impacts on the surrounding highway network.
- 6.6.9. Capel Manor Primary School is already operational and due to its scale and population, generates significantly more vehicular trips as compared to the proposed new school. Whilst it is accepted that there will be increased vehicular movements from the new school, it is also considered that a significant proportion of trips will also be undertaken by non-car modes. Therefore, whilst the level of traffic through the conservation area will be increased by the new school, it is not considered to be significantly worse as compared to the existing overall.
- 6.6.10. In a wider context, it is also worth mentioning that, TfL/Highways Agency are aware of the traffic congestion particularly on the Bullsmoor Lane/A10 (Cambridge Road) junction and are currently looking at signal improvements at the junction to ensure that junction capacity is more efficiently utilised. Whilst this will not completely solve the congestion problems on this corridor, this is intended to improve the capacity of the junction. There are also plans by the Highways Agency to look at left turn free flow traffic on the slip road to junction 25 of the M25 also in a bid to improve traffic congestion in the area. The proposals seek to provide a linkage between the A10 and M25 junctions to improve congestion in this area.

Parking

- 6.6.11. The proposals include the provision of 28 car parking spaces for the 44 staff (including 2 disabled bays), 2 mini bus bays and a servicing bay with turning head on the site. The parking on the site is proposed for the sole use of the staff and parents will not be allowed to enter/drive on-to the site.
- 6.6.12. The level of parking provision is thought to be acceptable. However because parents are not allowed to use or park in the car park, they will be parking and pick-off/pick up activities taking place on-street (i.e. Bullsmoor Lane) and there have been concerns raised on how any additional parking due to the new school will affect availability of kerbside parking especially with the Capel Manor Primary School located just next to the site. There are no parking restrictions along Bullsmoor Lane apart from the school keep clear markings located outside Capel Manor Primary School which are in operation between 08:15-09:15 and 14:45 and 16:00.
- 6.6.13. In order to understand the current on-street parking capacity and levels of use in the vicinity of the site, an on-street parking occupancy survey was undertaken between 6am-11am and 1pm to 7pm on Thursday 20th May 2014.
- 6.6.14. The results indicate that the worst period is during the school pick up period 1500-1530 when the occupancy exceeds 80% (i.e. 89%).
- 6.6.15. Considering the ages of the proposed students to the school and the nature of the school, it is unlikely to have significant high levels of school drop offs and pick-ups from parents etc. Therefore overall the proposed parking provision and access arrangements are deemed acceptable in highway terms.
- 6.6.16. The provision of electric vehicle charging points (EVCPs) have not been detailed within the *Transport Assessment*. To comply with the London Plan, 20% of the car parking spaces should have active provision and a further 20% provided with passive provision for future use. Details of this will be secured by condition.
- 6.6.17. The information submitted indicates that 20 cycle parking spaces will be provided in total for pupils, staff and visitors. This is considered to be in line with the current cycle parking standards in the London 2015. However the location and detailed design of the bike store has not been included.
- 6.6.18. The design of the store should ensure that it is big enough to accommodate cycles with stands/racks allowing both the frame and at least one wheel to be secured. The cycle parking must be lockable (ideally by an access fob or a mortice lock), sheltered from the weather and lit.
- 6.6.19. The plans provided should include detailed designs of the bike store, including dimensions, materials of the bike racks, and materials of the bike store and also showing the proposed racks/ stands inside the store.

Access / Servicing

- 6.6.20. The proposals include two vehicular access points from Bullsmoor Lane. Each access will lead to car parking areas, with approximately 14 car parking spaces. The vehicle access to the north of the site also has 2 mini bus bays and a turning head. The vehicle access to the south of the site has 14 spaces and a servicing area with turning head. These access points will provide two-way vehicle access to the site. School keep clear markings will be applied to both vehicle accesses to ensure no parking or stopping occurs at any time.

- 6.6.21. A separate/segregated pedestrian's access is provided between the two vehicle access points from Bullsmoor Lane. This will separate pedestrians and cyclists from the vehicle trips in/out of the site. A new raised table crossing is also proposed adjacent to the pedestrian access which will provide safe crossing point for pedestrians and cyclists into the school from the main road. The access layout is considered to be acceptable overall and is thought to be in line with policies 46 (vehicle crossover and dropped kerb) and 47 (access, new roads and servicing) of the DMD.
- 6.6.22. If planning permission is granted for the proposed scheme, all highways works will be subject to S278 agreement.

Highways Safety

- 6.6.23. Accident statistics was obtained from TfL's Road Safety Unit to cover an area extending to the east of the A10, Turkey Street, Bulls Cross and Bullsmoor Lane; for the most recently available five year period from the end of November 2009 to the end of November 2014. There were a total of 40 accidents, 35 of which resulted in slight injuries and 5 led to serious casualties. Significant proportions (55%) of these occurred around the A10 junction with Bullsmoor Lane.
- 6.6.24. Bullsmoor Lane has a speed limit of 20mph, speed surveys of Bullsmoor Lane in either direction does not exceed 25mph on average. However, there were no accidents in the immediate vicinity of the site and there was no real pattern emerging from the accident data available. There is therefore no major highway safety concerns associated with the proposed development.
- 6.6.25. To enhance safety in and around the STC site, improvements should be carried out at the Bull Cross/Gilmour Close Junction to control vehicle traffic speeds and also warn drivers of the presence of school children and the blind bend.

School Travel Plan

- 6.6.26. An outline Travel Plan has been included in the TA with information from hands up surveys carried out in the existing STC sites. Whilst this is acceptable, travel surveys will need to be carried out within 6 months of occupation of the new site.
- 6.6.27. This will form the baseline data for the final travel plan and enable its progress to be monitored. The final travel plan will be secured by planning condition.
- 6.6.28. Among other things the applicant should provide a firm commitment to the use of the 2 minibuses at the existing STC sites to transport pupils to and from the new site to minimise the number of car trips generated to the site. In order to guarantee that this measure is put in place, it will be secured via planning condition.
- 6.6.29. Having regard to the above, it is considered that the development provides acceptable parking and servicing facilities having regard to Policy 6.13 of the London Plan, and Policy DMD45 of the Development Management Document.

6.7. Sustainable Design & Construction

Energy Efficiency

- 6.7.1. The London Plan confirms that non-domestic buildings in the period 2013-2016 should be looking to achieve a 40% improvement on 2010 Building Regulations,

although the applicant is of the opinion that due to an early Building Regulation Submission, compliance with the 2010 Regulations is sufficient as opposed to the 2013 Building Regs. Building Control have confirmed that an application was made prior to the deadline for when the more recent standards would be applicable (6 April 2013). A condition will be imposed to secure confirmation that the scheme has achieved the targeted savings.

- 6.7.2. The Energy Statement confirms that a number of renewable technologies have been investigated, with photovoltaic cells, solar thermal heating and gas fired air source heat pumps being the most viable technically and practically.
- 6.7.3. Details of the proposed energy saving measures can be secured through the imposition of an appropriately worded condition. With regard to photovoltaic panels, details should also include a maintenance plan that must also take into account the proposed blue roof.

BREEAM

- 6.7.4. Due to the development being located within the Green Belt and in a Conservation Area, it would be expected that the scheme would aim to achieve as a minimum, a BREEAM rating "Excellent". Achieving such a standard could also potentially be used towards helping to justify the impact on the Green Belt because of the high sustainability credentials required. To achieve an "Excellent" rating, the scheme would have to equal or gain better than 70% of the mandatory elements.
- 6.7.5. From supporting information it is clear that the development has the potential of achieving a BREEAM "Excellent" rating, with an anticipated score of 75.4%. An appropriately worded condition is suggested to ensure that the scheme does achieve the highest rating possible.

Biodiversity / Ecology

- 6.7.6. Policy 7.19 of the London Plan ("Biodiversity and access to nature") requires development proposals to make a positive contribution, where possible, to the protection, enhancement, creation and management of biodiversity. Core Policy 36 of the Core Strategy confirms that all developments should be seeking to protect, restore, and enhance sites. Policy DMD79 advises that on-site ecological enhancements should be made where a development proposes more than 100sqm of floor space, subject to viability and feasibility.
- 6.7.7. The site is predominantly built over, with an extensive area of hardstanding, glasshouses, a bungalow in use as the shop / office and a former residential bungalow in the north-west corner of the application site. Along the western boundary is a screen of mature Cypress trees, which towards the rear, are fire damaged. Along the eastern boundary, there is a variety of plantings as detailed within the submitted *Ecology Report*. Surrounding the site is amenity grassland, primarily in use as playing fields (within Capel Primary and the Bullsmoor Open Space).
- 6.7.8. A landscaping plan has not been submitted, however one can reasonably be conditioned. The section of fire-damaged Cypress trees will be replaced with similar trees.
- 6.7.9. With regard to bats, the glass / green houses are not suitable for roosts. The existing office / shop (bungalow) has no visible gaps between roof tiles, cracks / gaps which could be utilised by bats to gain access into the building. The former residential

bungalow was not accessed during the course of the survey, therefore, and as noted in the *Ecology Report*, prior to demolition of this building, a survey will need to be undertaken to establish the presence or otherwise, of bats and their roosts. This survey will need to be undertaken before the demolition of any building / site clearance can take place because it is a criminal offence to destroy habitats and the removal of the bungalow is integral to the whole scheme. A survey of the trees on and around the site did not reveal any holes or cracks that could be used as a roost.

- 6.7.10. Vegetation clearance would only be permitted outside of the bird nesting season and should planning permission be granted, a condition could reasonably be imposed to secure this. A further condition is required in relation to the bungalow to ensure that a bat survey is undertaken prior to demolition to establish the presence or otherwise of bats and their roosts.
- 6.7.11. As discussed above, a lighting condition will be imposed to ensure that any proposed lighting is sensitive to the environment. From an ecological perspective, this will include wildlife habitat.

Trees

- 6.7.12. An Arboricultural Assessment has been provided to help inform the decision making process insofar as any potential impacts from the development proposal on trees within the site and immediately adjacent. The survey recorded a total of 28 individual trees, five groups of trees and four hedgerows.
- 6.7.13. An arboricultural survey has been undertaken and an Arboricultural Constraints Report (with Constraints Plan) has been submitted in support of the application. All trees were categorised in accordance with BS5837:2012 to establish their condition, age and quality. Category A trees are of high quality, contribute to local amenity, and should be retained if possible. Category B trees are of moderate quality with an estimated life expectancy of at least 20 years. Category C trees are considered to be of low quality, with either a limited life expectancy, or very young trees with a stem diameter of not more than 150mm, or very little contribution to local amenity. Category U trees are ones in such a poor condition that they cannot realistically be retained as living trees.
- 6.7.14. Of the 17 trees / groups of trees / hedgerow identified to be wholly removed or in part, five of these are graded Category B, ten as Category C, and two as category U. The Category B trees are directly impacted upon by the development and their removal cannot be reasonably avoided. As discussed above, some of the boundary hedge of Cypress trees along the western and southern boundaries is being removed and will be replaced.
- 6.7.15. Having regard to the above, it is considered that the development proposals will not unreasonably impact on the health of retained trees, and where existing planting will be removed, through condition, sufficient replacement planting will be provided.

Drainage

- 6.7.16. London Plan policies 5.12 and 5.13 requires the consideration of the effects of development on flood risk and sustainable drainage respectively. Core Policy 28 ("Managing flood risk through development") confirms the Council's approach to flood risk, inclusive of the requirement for SuDS in all developments. Policies DMD59 ("Avoiding and reducing flood risk") confirms that new development must avoid and reduce the risk of flooding, and not increase the risks elsewhere and that Planning

permission will only be granted for proposals which have addressed all sources of flood risk and would not be subject to, or result in unacceptable levels of flood risk on site or increase the level of flood risk to third parties. DMD61 ("Managing surface water") requires the submission of a drainage strategy that incorporates an appropriate SuDS scheme and appropriate greenfield runoff rates.

6.7.17. A *Drainage Strategy* has been submitted in support of the application. The *Strategy* confirms that a number of measures will be incorporated into and around the building. These include the provision of green and blue roofs (a roof that stores water), permeable surfacing, and the provision of a rain garden at the front of the building.

6.7.18. The above measures will be secured through an appropriately worded condition. The *Strategy* also recommends that an additional topographical survey is undertaken to confirm the levels and profile of the existing ditch to the south of the site is undertaken to confirm levels and profile prior to detailed designing.

Site Waste Management

6.7.19. Policy 5.16 of the London Plan has stated goals of working towards managing the equivalent of 100% of London's waste within London by 2026, creating benefits from waste processing and zero biodegradable or recyclable waste to landfill by 2026. This will be achieved in part through exceeding recycling and reuse levels in construction, excavation and demolition ("CE&D") waste of 95% by 2020.

6.7.20. In order to achieve the above, London Plan policy 5.18 confirms that through the Local Plan, developers should be required to produce site waste management plans to arrange for the efficient handling of CE&D. Core Policy 22 of the Core Strategy states that the Council will encourage on-site reuse and recycling of CE&D waste.

6.7.21. Details of a construction waste management plan have not been submitted with the application although the submitted *Sustainability Statement* acknowledges that one will need to be prepared in accordance with adopted standards. The details of a construction site waste management plan can be secured through an appropriately worded condition.

Contamination

6.7.22. Having regard to the existing use of the site as a nursery, and the former use as an orchard, consideration must be given to land contamination (London Plan policy 5.22 and DMD66). To enable an understanding of any potential contaminants and the likely impact on receptors from these former uses, a *Site Contamination Assessment* has been submitted.

6.7.23. Potential contaminants have been identified from:

- Pesticides / fertilisers related to orchard activity
- The storage of materials on site
- One bomb strike
- Contamination related to made ground

6.7.24. Identified receptors include:

- Future site users
- Adjacent site users
- Construction workers
- Construction materials

- Groundwater
- Surface water

6.7.25. The *Assessment* provides a series of recommendations to minimise any potential adverse impact, such as placing a 300mm remedial cover on any soft-landscaped areas and suitable precautions being undertaken for site workers (and the general public) throughout site clearance and subsequent construction. A number of observations are made in relation to foundations.

6.7.26. Having regard to the *Site Contamination Assessment*, it is considered appropriate to impose a condition to deal with contaminants throughout the contamination process. In addition, and in light of the comments also received from Thames Water with regards to piling, a condition is recommended to secure details of the proposed foundations.

6.8. **Employment and Training**

6.8.1. Core Policy 16 of the Core Strategy confirms the commitment of the Council to promote economic prosperity and sustainability in the Borough through a robust strategy to improve the skills of Enfield's population. One initiative is, through the collaboration with the Boroughs of Haringey, Broxbourne, Epping and Waltham Forest is to promote skills training for local people.

6.8.2. Details of a Local Employment Strategy could be secured by condition. The Strategy should set out how the development will engage with local contractors / subcontractors, the number of trainees to be employed on site and the number of weeks training will be provided.

6.9. **Equalities Monitoring**

6.9.1. In April 2011, the Public Sector Equality Duty, a provision of the 2010 Equalities Act came into force. It requires schools and other public bodies to have regard to the need to: eliminate discrimination, harassment, and victimisation; advance equality of opportunity; and foster good relations between different groups. The Duty covers the protected characteristics of: age, disability, gender, gender reassignment, pregnancy and maternity, race, religion or belief and sexual orientation.

6.9.2. To do this, it is necessary for the potential effects of a development on different people to be understood. Where these are not immediately apparent, it may be necessary to carry out some form of assessment or analysis, in order to understand them. To this end, a *Predictive Equality Impact Assessment* has been provided.

6.10. **Community Infrastructure Levy**

6.10.1. The Mayoral CIL is collected by the Council on behalf of the Mayor of London. The amount that is sought for the scheme is calculated on the net increase of gross internal floor area multiplied by the Outer London weight of £20 and a monthly indexation figure (July - 254)

6.10.2. The CIL regulations exempts certain types of development, with education uses being one of these. The development is therefore not CIL liable.

7. **Conclusions**

7.1. Taking all material planning considerations into account it is considered that the development should be approved for the following reasons:

1. Having regard to the statutory requirement to give special attention to the desirability of preserving a listed building or its setting (s.66) and preserving or enhancing the character or appearance of a conservation area (s.72) the proposal has been assessed against the identified heritage assets and their significance as set out above. It is considered that the development proposals will not lead to any harm to the designated or undesignated heritage assets having regard to Policy 7.8 of the London Plan, Core Policy 31, Policy DMD44 of the Development Management Document and with guidance contained within the National Planning Policy Framework (in particular Section 12).
2. The development, being one involving the partial or complete redevelopment of a previously developed site in the Green Belt which does not have a greater impact on the openness of the Green Belt and the purpose of including land within it than the existing development, is considered to comply with Policy 7.16 of the London Plan, Core Policy 33 and DMD82 of the Development Management Document, and with guidance contained within the National Planning Policy Framework (in particular Section 9).
3. The proposed development, having regard to its size, siting and design and by virtue of conditions imposed has appropriate regard to its surroundings, the character and amenities of the local area and those of adjoining occupiers in terms of loss of light, privacy, outlook, noise and disturbance, having regard to Policies 7.1, 7.4 & 7.6 7.15 of The London Plan, Core Policy 30, Policies DMD68 and DMD69 of the Development Management Document.
4. The development makes appropriate provision for access and servicing and will not lead to conditions detrimental to highway safety on having regard to Policy 6.3 of The London Plan, DMD47 of the Development Management Document.
5. The proposed development, by virtue of the measures proposed and conditions imposed, should achieve an acceptable level of sustainable design and construction having regard to Policies 5.1, 5.2, 5.3, 5.6, 5.7, 5.8 & 5.9 of the London Plan, Core Policies 20, 21, 22, & 26 of the Core Strategy, Policies DMD49, DMD51, DMD53, DMD55, DMD56, DMD58, DMD59, DMD60, DMD61, DMD69, DMD78, DMD79, DMD81 of the Development Management Document.

8. Recommendation

8.1. That following referral to the Mayor of London and no objections being raised, as well as referral to the Secretary of State and no objections being raised, the Head of Development Management or the Planning Decisions Manager be authorised to GRANT planning permission in accordance with Regulation 4 of the Town & Country Planning General Regulations 1992 subject to the following conditions:

1. **Approved Plans**
Unless required by any other condition, the development hereby permitted shall be carried out in accordance with the approved plans, including plans(s) that may have been revised, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

2. Time Limited Permission

The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: As required by Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

3. Highways Improvements

The development shall not be occupied until the range of highways improvement measures identified within the *Transport Assessment* have been implemented.

Reason: To ensure measures are provided within an appropriate timescale to improve pedestrian and road user safety in the vicinity of the site.

4. Materials

Notwithstanding any submitted plan or supporting document, no above-ground works shall commence until detailed drawings and samples of the types of external materials and finishes to be used in the proposed development have been submitted to and approved in writing by the Local Planning Authority. The submitted details shall include 1:20 or larger showing details of the proposed zinc roof, fenestration, proposed cladding system and signage.

The works shall thereafter be carried out in accordance with the approved details and the approved sample brickwork panel shall be retained on site throughout the duration of works.

Reason: To ensure a satisfactory appearance to the development and to preserve the character and appearance of the Conservation Area and the Metropolitan Green Belt.

5. Details of Access

The development shall not commence until detailed drawings showing the means of access to the development including the siting, levels and construction of any access roads, junctions, parking, turning and servicing areas and street lighting have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details prior to first occupation.

Reason: To ensure that the development complies with adopted Policy and does not prejudice conditions of safety or traffic flow on adjoining highways.

6. Hard Surfacing

Where in close proximity to the root protection areas of any retained tree(s) or hedge(s), hard surfacing works shall be undertaken in accordance with the measures identified in the *Arboricultural Impact Statement*.

Reason: To ensure that the method of construction of hard surfaced areas do not adversely affect the health of retained trees and hedges.

7. No External Pipework / Extraction / Ventilation Units / Plant

No plumbing, pipes, plant or services and fittings shall be fixed on the external faces of the buildings forming the approved scheme unless shown otherwise on the approved drawings or other documentation hereby approved or unless otherwise approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory appearance to the development having regard its sensitive location within a Conservation Area, heritage assets within / and in proximity to the site and the surrounding Green Belt.

8. Details of Means of Enclosure

Details of any means of enclosure proposed throughout the site shall be submitted to the Local Planning Authority for approval in writing. The means of enclosure shall be erected in accordance with the approved detail prior to first occupation.

Reason: To ensure a satisfactory appearance having regard to the location of the site within a Conservation Area and the Metropolitan Green Belt and in the interest of highway safety.

9. Details of External Lighting

Prior to development commencing, details of the design, siting, lux levels and measures to prevent external lighting affecting light sensitive premises or ecologically sensitive areas in the vicinity of the development shall be submitted to the Local Planning Authority for approval in writing. The approved lighting scheme shall be implemented prior to first occupation in accordance with the approved detail and permanently maintained.

Reason: In the interest of protecting the amenity of the adjoining residential occupiers and the minimal disruption to wildlife friendly habitats whilst being cognizant of the need to provide suitable levels of lighting appropriate to the sites location within the Green Belt and Conservation Area.

10. Private Vehicles Only

The parking areas forming part of the development shall only be used for the parking of private motor vehicles only and shall not be used for any other purpose.

Reason: To ensure that the development complies with Development Plan Policies and to prevent the introduction of activity which would be detrimental to amenity.

11. Electric Charging Points

That prior to any works commencing in relation to the provision of parking / turning facilities, typical details, including siting, of electric vehicular charging points to be provided in accordance with London Plan standards (minimum 20% of spaces to be provided with electric charging points and a further 20% passive provision for electric vehicles in the future) shall be provided to the Local Planning Authority for approval in writing.

All electric charging points shall be installed in accordance with the approved details prior to first occupation of the development and permanently maintained and retained.

Reason: To ensure that the development complies with the sustainable development policy requirements of the London Plan.

12. Details of Cycle Parking

Within three months of development commencing, the details (including elevational details) for covered cycle parking for the storage of a minimum of 20no. bicycles and ancillary cycle facilities shall be submitted to and approved in writing by the Local Planning Authority. The approved cycle storage and ancillary

facilities shall be provided prior to first occupation of the development the subject of this permission and permanently maintained. The approved cycle storage shall be kept free from obstruction, and available for the parking of cycles only.

Reason: To provide secure cycle storage facilities free from obstruction in the interest of promoting sustainable travel.

13. Drainage Plan / SuDS

The development shall be undertaken in accordance with the details and recommendations of the submitted *Drainage Strategy (April 2015)* and accompanying plans. There shall be no deviation from the approved drainage scheme without the prior approval in writing of the Local Planning Authority.

Reason: In the interest of managing surface water runoff as close to the source as possible in accordance with adopted policy.

14. SuDS Verification

Prior to occupation of the development approved, a verification report demonstrating that the approved drainage / SuDS measures have been fully implemented shall be submitted to the Local Planning Authority for approval in writing.

Reason: In the interest of managing surface water runoff as close to the source as possible in accordance with adopted policy.

15. Archaeology

- A. No development shall take place until the applicant has secured the implementation of a programme of archaeological works in accordance with a Written Scheme of Investigation which has been submitted by the applicant and approved in writing by the Local Planning Authority.
- B. No development shall take place other than in accordance with the Written Scheme of Investigation approved under Part (A).
- C. The development shall not be occupied until the site investigation and post investigation with the programmed set out in the Written Scheme of Investigation approved under Part (A), and the provision made for analysis, publication and dissemination of the results and archive deposition has been secured.

Reason: In order to secure the provision of archaeological investigation and the subsequent recording of the remains prior to development due to the potential of heritage assets of archaeological interest surviving on the site due to the close proximity of the Roman Ermine Rd.

16. Piling / Foundations

No development shall take place until a detailed scheme showing the complete scope and arrangement of the foundation design and ground works have been submitted to and approved by the Local Planning Authority.

Where impact piling is proposed, this shall not take place until a piling method statement (detailing the type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface water infrastructure, and the programme for the works) has been submitted to and approved in writing by the Local Planning Authority in consultation with Thames Water. Any piling must be

undertaken in accordance with the terms of the approved piling method statement.

Reason: In the interests of safeguarding any archaeological heritage assets that may exist on the site and to prevent harm to groundwater

17. Landscaping

Notwithstanding any submitted plan, a landscaping plan shall be submitted to the Local Planning Authority for approval in writing prior to any works commencing. The Landscaping plan shall include:

- (a) Planting plans;
- (b) Written specifications (including cultivation, maintenance and other operations associated with plant and grass establishment);
- (c) Schedules of plants and trees, to include native and wildlife friendly species and large canopy trees in appropriate locations (noting species, planting sizes and proposed numbers / densities);
- (d) Implementation timetables;
- (e) Wildlife friendly plants and trees of local or national provenance; and
- (f) Biodiversity enhancements in accordance with Section 4.13 of the Ecology Report (April 2015)

Plantings shall be provided within the first planting season following practical completion of the development. Any planting which dies, becomes severely damaged or diseased within five years of completion of the development shall be replaced with new planting in accordance with the approved details or an alternative approved in writing by the Local Planning Authority.

Reason: To enhance the ecological value of the site and to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with adopted policy, and to ensure highway safety.

18. Tree Protection Plan

Development shall not commence until a Tree Protection Plan and Detailed Arboricultural Method Statement written in accordance with BS5837:2012 has been submitted to the Local Planning Authority for approval in writing.

The development shall be undertaken in accordance with the approved detail.

Reason: To ensure that the retained trees, shrubs and hedgerows on the site are not adversely affected by any aspect of the development, having regard to adopted policy.

19. Vegetation Clearance (Outside of Nesting Season)

All areas of trees, hedges, scrub or similar vegetation where birds may nest and which are to be removed as part of the development, are to be cleared outside the bird-nesting season (March - August inclusive) or if clearance during the bird-nesting season cannot reasonably be avoided, a suitably qualified ecologist will check the areas to be removed immediately prior to clearance and advise whether nesting birds are present. If active nests are recorded, no vegetation clearance or other works that may disturb active nests shall proceed until all young have fledged the nest.

Reason: Nesting birds are protected under the Wildlife & Countryside Act, 1981 (as amended), this condition will ensure that wildlife is not adversely affected by the proposed development in line with CP36 of the Core Strategy

20. Bats

No demolition of any building or structure within the application site may occur until the results of a bat survey of the residential bungalow in the north-west corner of the application site has been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that bats and their roosts (a material consideration) are not impacted by the proposed development, in line with the Conservation of Habitats and Species Regulations 2010 and the Wildlife and Countryside Act 1981 (as amended).

21. BREEAM

Evidence confirming that the development achieves a BREEAM rating of no less than 'Excellent' shall be submitted to and approved in writing by the Local Planning Authority. The evidence required shall be provided in the following formats and at the following times:

- (a) Following commencement of works regular updates on progress under the relevant BREEAM scheme shall be submitted at monthly intervals prior to the submission of the post construction assessment;
- (b) A post construction assessment, conducted by an accredited Code Assessor and supported by all relevant evidence, shall be submitted within 1 month of formal submission to the British Research Establishment; and
- (c) A BRE accreditation certificate shall be submitted within 3 months of first occupation of the site.

The development shall be carried out strictly in accordance with the details so approved, shall be maintained as such thereafter and no change there from shall take place without the prior approval of the Local Planning Authority.

Reason: In the interests of addressing climate change and to secure sustainable development in accordance with the strategic objectives of the Council and adopted policy.

22. Energy

In accordance with the submitted '*Sustainable Statement*' (April 2015) and '*Energy Statement*' (April 2015) the energy efficiency of the development and shall provide for no less than 40% total CO2 emissions arising from the operation of a development and its services over Part L of Building Regs 2010, unless otherwise agreed in writing by the Local Planning Authority.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Following practical completion of works a final Energy Performance Certificate shall be submitted to and approved in writing by the Local Planning Authority. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets are met in accordance with adopted Policy.

23. Details of Renewable Energy Provision

The development shall not commence until details of the renewable technologies to be used in the development have been submitted to the Local Planning Authority for approval in writing. Where appropriate, the submitted detail shall demonstrate compliance with the approved renewable energy strategy and include the design, size, siting, and a maintenance strategy / schedule inclusive of times, frequency and method.

In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets by renewable energy are met in accordance with adopted Policy.

24. Details of Construction Management Plan

No development shall not commence until a Construction Management Plan has been submitted to and approved in writing by the Local Planning Authority. The construction management plan shall include details of the following:

- a. arrangements for wheel cleaning;
- b. arrangements for the storage of materials;
- c. hours of work;
- d. arrangements for the securing of the site during construction;
- e. the arrangement for the parking of contractors' vehicles clear of the public highway.
- f. The siting and design of any ancillary structures.
- g. A construction management plan written in accordance with the 'London Best Practice Guidance: The control of dust and emission from construction and demolition'.

The development shall be carried out in accordance with the approved construction methodology unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not lead to damage to the existing highway and to minimise disruption to neighbouring properties and the environment.

25. Details of CCTV

No works shall commence on the provision and installation of any external closed circuit television cameras (CCTV) until details of their design, siting and field of vision has been submitted to the Local Planning Authority and approved in writing.

The CCTV shall be provided in accordance with the approved detail before the development is occupied.

Reason: In the interest of protecting the privacy of neighbouring occupiers.

26. Community Access

Prior to the occupation of the development approved details of a Community Access Plan shall be submitted to the Local Planning Authority for approval in writing setting out the proposals for community access to the building and facilities.

The development shall be occupied and used in accordance with the approved access plan unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that appropriate provision is made for community access to facilities outside of school hours, having regard to one of the 'special circumstances' advanced to support the development on Metropolitan Open Land.

27. Traffic Management and Parking Plan

Prior to use commencing a Traffic and Parking Management Plan shall be submitted to the Local Planning Authority for approval in writing. The statement should include the measures that will be employed to encourage users of the community use to travel to site other than by car, car parking availability on-site and how car parking will be managed to ensure there is no impact on-street as a result of the community use.

The agreed Traffic Management and Parking Plan shall be implemented and maintained prior to first use of the site by any community group.

Reason: To minimise the impact of the development on on-street parking availability and in the interest of promoting sustainable modes of transport.

28. Construction Traffic Management Plan

No development shall commence until a Construction Traffic Management Plan has been submitted to and approved in writing by the local planning authority.

The statement should include:

- a. condition survey of highways in vicinity of the site
- b. routing of demolition and construction vehicles;
- c. access arrangements to the site;
- d. the estimated number and type of vehicles per day/week;
- e. details of any vehicle holding area;
- f. details of the vehicle call up procedure;
- g. details of measures to protect pedestrians and other highway users from construction activities on the highway;
- h. Work programme and/or timescale for each phase of the demolition, excavation and construction works; and
- i. Where works cannot be contained wholly within the site a plan should be submitted showing the site layout on the highway including extent of hoarding, pedestrian routes and remaining road width for vehicle movements.
- j. loading / unloading locations;
- k. coordination with other development projects in the vicinity of the site;
- l. coordination with Capel Manor Primary School to avoid peak school drop-off and pick up times.

The development shall be carried out in accordance with the approved Construction Traffic Management Plan.

Reason: To minimise the impact of construction works upon highway safety, congestion and parking availability

29. Star Track Travel Plan

Within six months of first occupation of the development a full STAR-Track compliant School Travel Plan, incorporating the components set out in TfL

guidance, shall be submitted to and approved in writing by the Local Planning Authority. The Travel Plan shall also include:

- a. Agreed targets with the aim of reducing the impact of car travel on the environment; to encourage staggered start and finish times for the various year groups throughout the school;
- b. measures to promote sustainable transport and provisions promoting a wider range of cleaner travel choices;
- c. details of a proposed minibus service; a phased programme for the increase in cycle parking provision on site, a full travel survey in consultation with the Council's School Travel Plan Monitoring Officer(s);
- d. a programme for the review and monitoring of the Travel Plan to ensure targets are met.

The School shall operate in accordance with the approved Travel Plan.

Reason: In order to reduce the level of car borne traffic associated with the development and the promotion of more sustainable modes of transport.

30. Details of Refuse Storage

The development shall not commence until details, including elevational details, of refuse storage facilities (including facilities for the recycling of waste to be provided within the development) in accordance with the London Borough of Enfield – Waste and Recycling Planning Storage Guidance ENV 08/162, have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details before the development is occupied or use commences.

Reason: In the interest of amenity and the recycling of waste materials in support of the Boroughs waste reduction targets.

31. Construction Site Waste Management

Prior to any development commencing, inclusive of site clearance, details of a Construction Waste Management Plan shall be submitted to the Local Planning Authority for approval in writing. The Construction Waste Management Plan shall include as a minimum:

- (a) Target benchmarks for resource efficiency set in accordance with best practice;
- (b) Procedures and commitments to minimize non-hazardous construction waste at design stage. Specify waste minimisation actions relating to at least 3 waste groups and support them by appropriate monitoring of waste;
- (c) Procedures for minimising hazardous waste;
- (d) Monitoring, measuring and reporting of hazardous and non-hazardous site waste production according to the defined waste groups (according to the waste streams generated by the scope of the works);
- (e) Procedures and commitments to sort and divert waste from landfill in accordance with the waste hierarchy (reduce; reuse; recycle; recover) according to the defined waste groups; and
- (f) No less than 85% by weight or by volume of non-hazardous construction, excavation and demolition waste generated by the development has been diverted from landfill

Reason: To maximise the amount of waste diverted from landfill consistent with the waste hierarchy and strategic targets set by Policies 5.17, 5.18, 5.19 of the

London Plan, and to meet with the stated targets as advised by the submitted *Sustainability Statement*.

Appendix 1

Capel House: Extract from the List Descriptions of the Statutory Register from the English Heritage website 9 July 2015

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: CAPEL HOUSE

List Entry Number: 1078898

Location

CAPEL HOUSE, BULLSMOOR LANE

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Enfield

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: II*

Date first listed: 19-Mar-1951

Date of most recent amendment: 10-Dec-1975

Legacy System Information

The contents of this record have been generated from a legacy data system.

Legacy System: LBS

UID: 200550

Asset Groupings

This List entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List Entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

1. 4411 BULLSMOOR LANE Capel House

TQ 3499 1/44 19.3.51.

II*

2. Mid-late C18 house., Main block of 2 storeys and attic, 7 windows; with 2 -storey one-window side wings. Gambrel roof, of graduated green slates, with 5 flat dormers. Brick walls painted red. Moulded brick cornice and stone-coped parapet 1st floor band. Gauged flat brick arches to sash windows with glazing bars. Central porch mostly glazed but with 2 projecting columns supporting entablature broken forward in centre. Door of 6 fielded panels with patterned fanlight. Similar rear elevation but with Roman Doric central porch having open mutuled pedimented hood. Fancy interlaced bars to fanlight. Inside some rich interiors of late C19 in a reproduction Restoration style with much carving and panelling.

Listing NGR: TQ3445099780

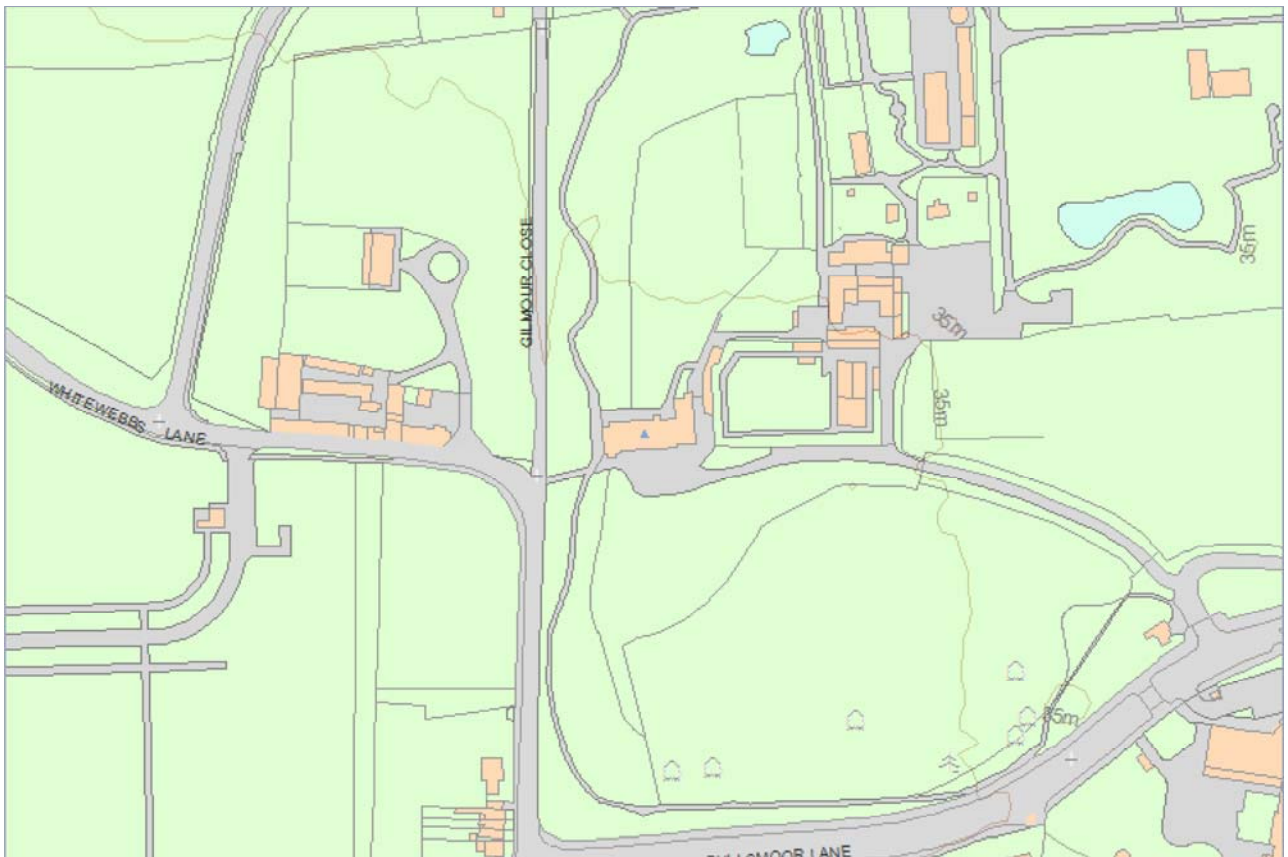
Selected Sources

Legacy Record - This information may be included in the List Entry Details

Map

National Grid Reference: TQ 34342 99687

The below map is for quick reference purposes only and may not be to scale. For a copy of the full scale map, please see the attached PDF - [1078898.pdf](#) - Please be aware that it may take a few minutes for the download to complete.



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Appendix 2

**Garden Walls to East of Capel Manor: Extract from the List Descriptions of the
Statutory Register from the English Heritage website 9 July 2015**

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: GARDEN WALLS TO EAST OF CAPEL HOUSE

List Entry Number: 1078899

Location

GARDEN WALLS TO EAST OF CAPEL HOUSE, BULLSMOOR LANE

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Enfield

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: II

Date first listed: 31-Jan-1974

Date of most recent amendment: 10-Dec-1975

Legacy System Information

The contents of this record have been generated from a legacy data system.

Legacy System: LBS

UID: 200551

Asset Groupings

This List entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List Entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

1. 4411 BULLSMOOR LANE Garden Walls to East of Capel House TQ 3499 1/45

II

2. C18 red brick walls of varying heights all around enclosed garden.

Listing NGR: TQ3436899690

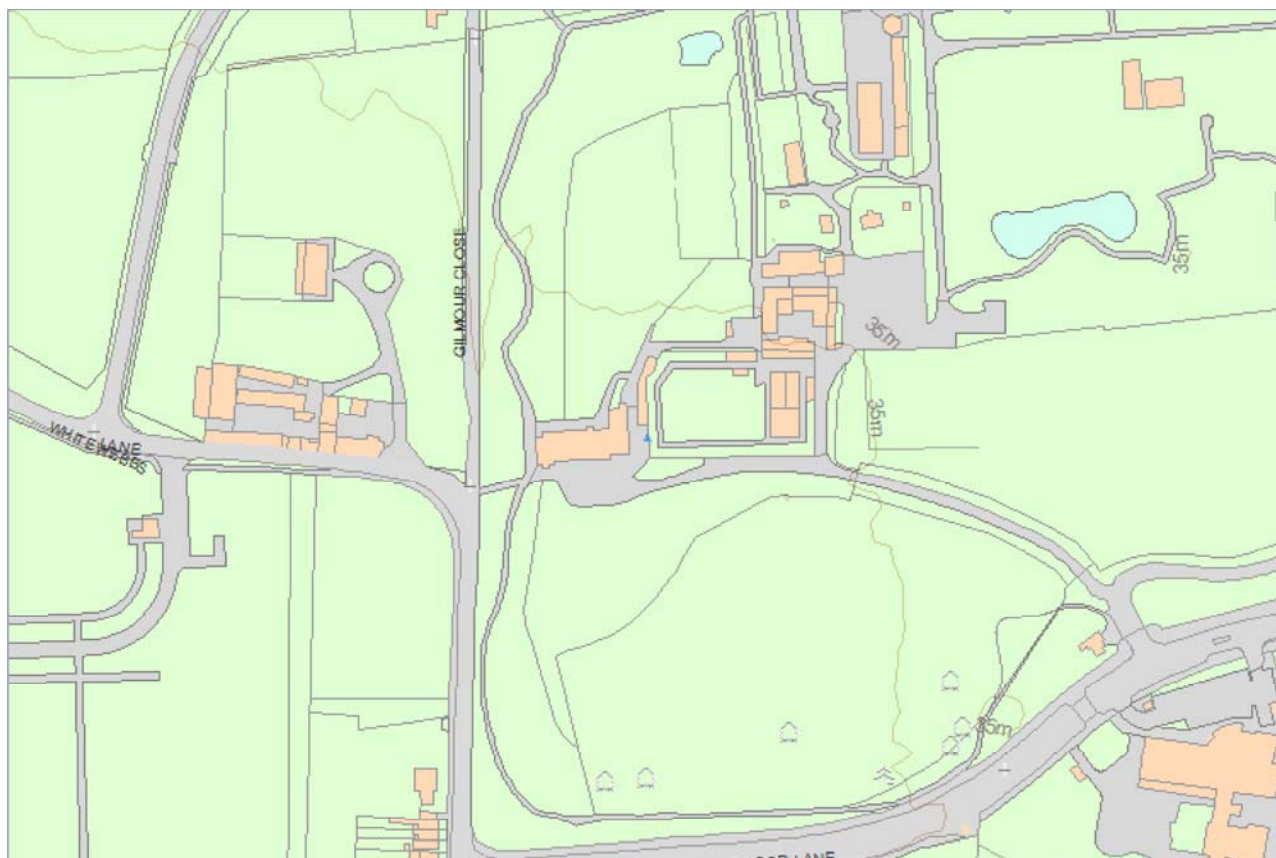
Selected Sources

Legacy Record - This information may be included in the List Entry Details

Map

National Grid Reference: TQ 34369 99690

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Appendix 3

**Stables and Former Coach House Range at Capel Manor: Extract from the List
Descriptions of the Statutory Register from the English Heritage website 9 July
2015**

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: STABLES AND FORMER COACH HOUSE RANGE AT CAPEL MANOR

List Entry Number: 1358742

Location

STABLES AND FORMER COACH HOUSE RANGE AT CAPEL MANOR, BULLSMOOR LANE

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Enfield

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: II

Date first listed: 26-Jan-1990

Date of most recent amendment: Not applicable to this List entry.

Legacy System Information

The contents of this record have been generated from a legacy data system.

Legacy System: LBS

UID: 200828

Asset Groupings

This List entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List Entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

The following building shall be added to the list:

BULLS MOOR LANE TQ 3499 Stables and former Coach- 1/301 house range at Capel Manor

II GV

Stable and Coach-house, coach-house now cafeteria. Late C19; C20 alterations. Red brick in Flemish bond; plain tile roof. U-shaped plan, right wing shorter. One and 2 storeys. Left wing, of 2 storeys, has former Coach-house to ground and accommodation over. Right wing and right part of spine range comprise single-storey stable. At junction of stable and coach-house is open-fronted covered area surmounted by clock tower. Lean-to shelter-shed against rear. Board doors; small-pane wooden windows with projecting sills; moulded brick eaves; brick corbels to kneelers; stone coping to raised verges of gables. Coach-house wing on right side has continuous range of 5 double doors, with 2 horned 12-pane sashes to 1st floor; 2 lateral stacks to left side. Spine range: on left, at back of open-fronted section, a door and 16-pane pivoting window; at front, a wooden arch, and wood bracket supporting over-sailing eaves. Clock, tower is square on plan with a small-pane window at base, and to each side a clock face, moulded string below tripled louvred openings and moulded cornice pyramidal roof with 1954 weathervane. Stable: 2 large 24-pane top-hinged windows to spine range and 1 to wing gable; stable door in left side of wing, and at left end of spine-range part; 2 circular metal ridge rents with conical caps (1 cap removed). Lean-to stables against right return not of special interest. Rear: 4-bay open-fronted lean-to shelter-shed on left has wooden posts arch-braced to eaves plate, and replacement corrugated-sheet roof. On right, end of coach-house wing has various windows, and iron stair up to 1st-floor board door which has 2-light 8-pane, overlight and bracketed pent canopy with hoist beam; the roof is half-hipped, the gable having wooden louvering and knob finial. Left return coach-house wing: 2 late C20 windows to ground floor in-keeping and 2 to 1st floor at centre; louvred gable as before. Interior of stables: 4 stalls along spine range, 3 boxes to wing, with gallery in angle having wooden balustrade and door in rear wall. High quality original fittings remain, including: grooved non-slip concrete and yellow-brick floors with covered drains; wooden mainscoting; glazed green octagonal and yellow tiles to walls; mahogany partitions with wavy iron balustrades at top, and iron end columns with brass finials; iron water troughs (with plugs), hay-racks with dust filtration base-plates, and name plaques. Brackets for gas lamps; one surviving saddle peg. Ceiling underdrawn. The stables fittings are of exceptionally fine quality.

Listing NGR: TQ3442599744

Selected Sources

Legacy Record - This information may be included in the List Entry Details

Map

National Grid Reference: TQ 34425 99744

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APPLICATION SITE
ADJOINING LAND UNDER APPLICANT CONTROL

Rev.	Date	Description	Drawn	Checked
D1	18/04	Planning Submission		

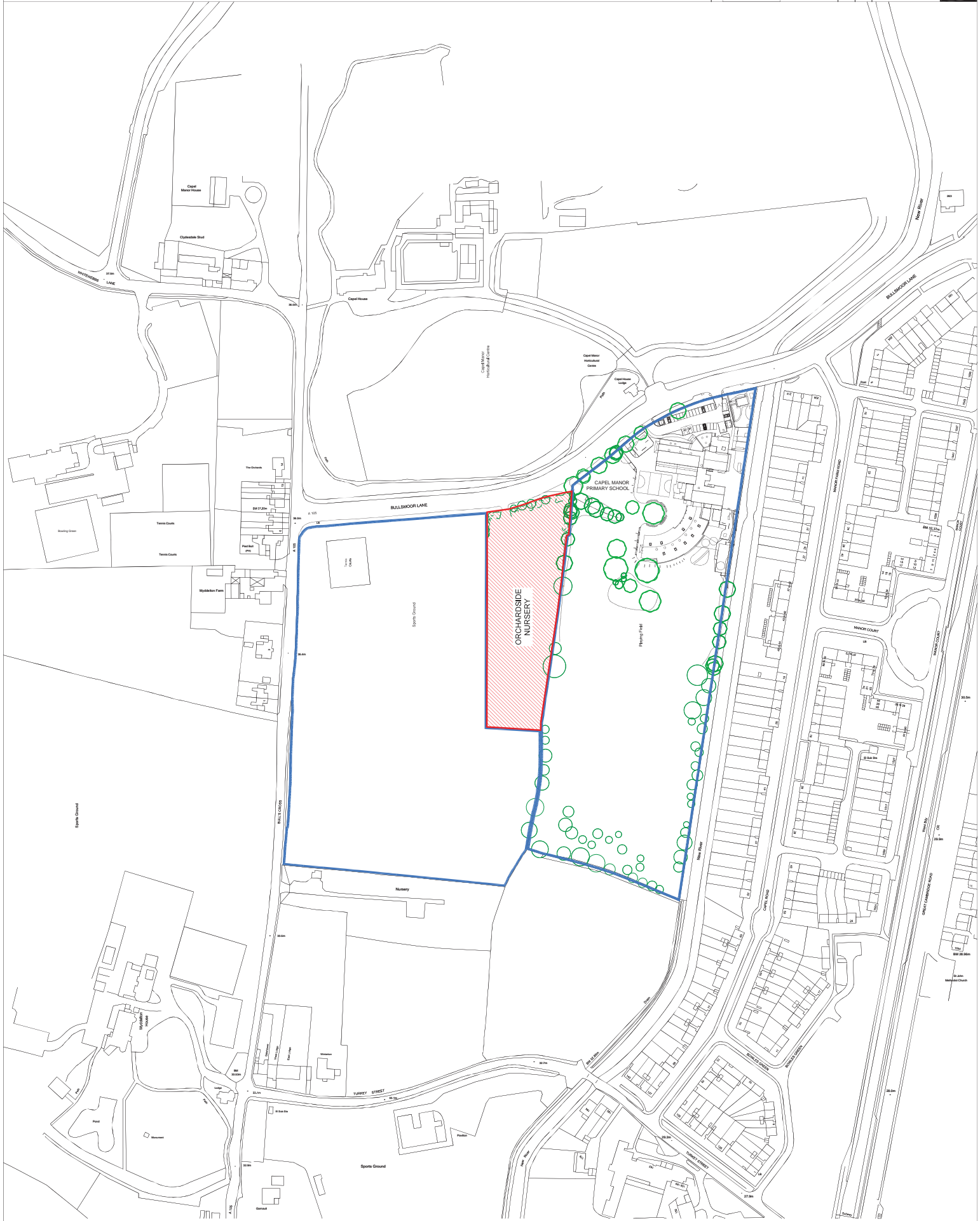
bhp architects
Newbury House First Floor Oxford Road, OX1 0PF
1-44 45 20 201 1-44 45 20 200 1-44 45 20 200 1-44 45 20 200

ORCHARSIDE NURSERY SITE
BULLSMOOR LANE
ENFIELD

Drawn	FLW	By	FLBE
DATE	NOVEMBER 2014	SCALE	1:250 @A1

SITE LOCATION PLAN

AS EXISTING	706	200	D1
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REFER TO LANDSCAPE DRAWINGS FOR EXTERNAL WORKS AND TO SEE DRAWINGS FOR SITE ACCESS

Client	London Borough of Enfield
Project	Enfield Referral Unit
Site	Enfield Referral Unit
Date	2011
Scale	1:500
Author	[Name]
Check	[Name]
Drawn	[Name]
Discipline	Site Location Plan
Project No.	706
Sheet No.	201
Scale	D2

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ENFIELD REFERRAL UNIT
 SITE LOCATION PLAN
 STC (PUPIL REFERRAL UNIT)

AS PROPOSED



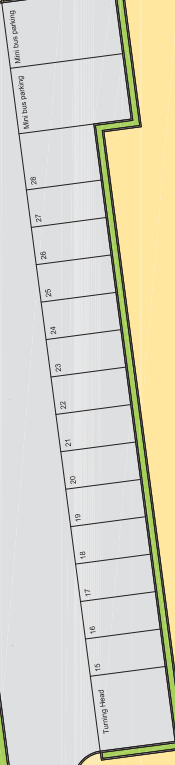
North arrow symbol pointing towards the top right of the page.

BULLSMOOR LANE

Sports Ground

STC Building

Capel Manor Primary School

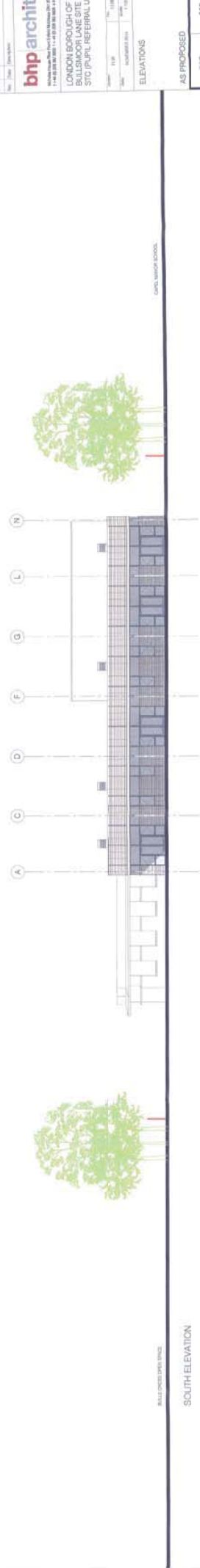
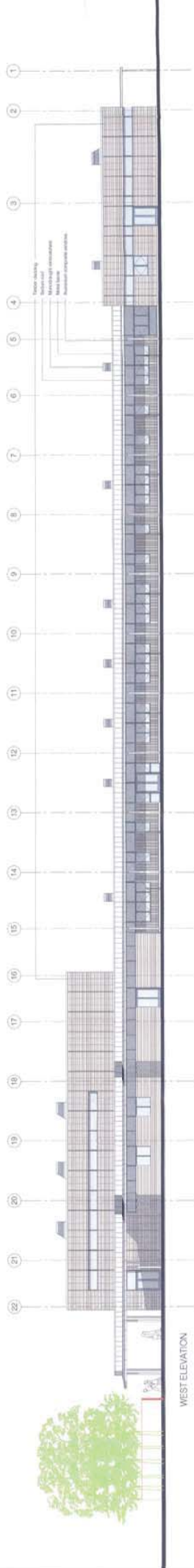
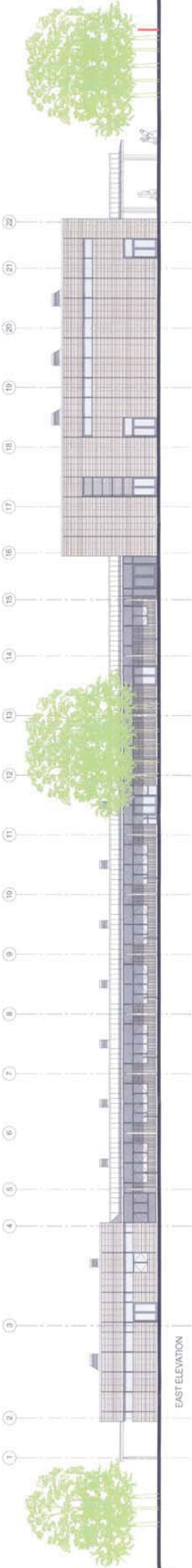


bnp architects
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 LONDON BOROUGH OF ENFIELD
 BULLSMOOR LANE SITE
 STC (PUPIL REFERRAL UNIT)

DATE	DESCRIPTION
10/05/2024	ISSUE FOR PERMIT
10/05/2024	ISSUE FOR PERMIT
10/05/2024	ISSUE FOR PERMIT

PROJECT: STC (PUPIL REFERRAL UNIT)
 DRAWING NO: 2024-05-10-01
 DRAWING TITLE: GROUND FLOOR
 DRAWING SUB-TITLE: PART SITE PLAN
 DRAWING SCALE: AS PROPOSED

REFER TO LANDSCAPE DRAWINGS
 FOR EXTERNAL WORKS AND TO
 BE DRAWINGS FOR SITE ACCESS



bhp architects	
LONDON BOROUGH OF ENFIELD BULLSMOOR LANE SITE SIC (PUPIL REFERRAL UNIT)	
DATE	2018
SCALE	1:100
ELEVATIONS	
AS PROPOSED	
700	205
D7	

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 21st July 2015

Report of

Assistant Director, Planning,
Highways & Transportation

Contact Officer:

Andy Higham 020 8379 3848
Sharon Davidson 020 8379 3841
Richard Laws 020 8379 3605

Ward:

Bush Hill Park

Ref:15/01975/RE4

Category: LBE - Dev by LA

LOCATION: Nursery Land To South of Salmons Brook, Great Cambridge Road N9 9SH

PROPOSAL: Change of use of former nursery site involving excavation and re-contouring of land to create a public open space with wetlands and wildlife areas, woodlands walk, combined footpath / Cycle way.

Applicant Name & Address:

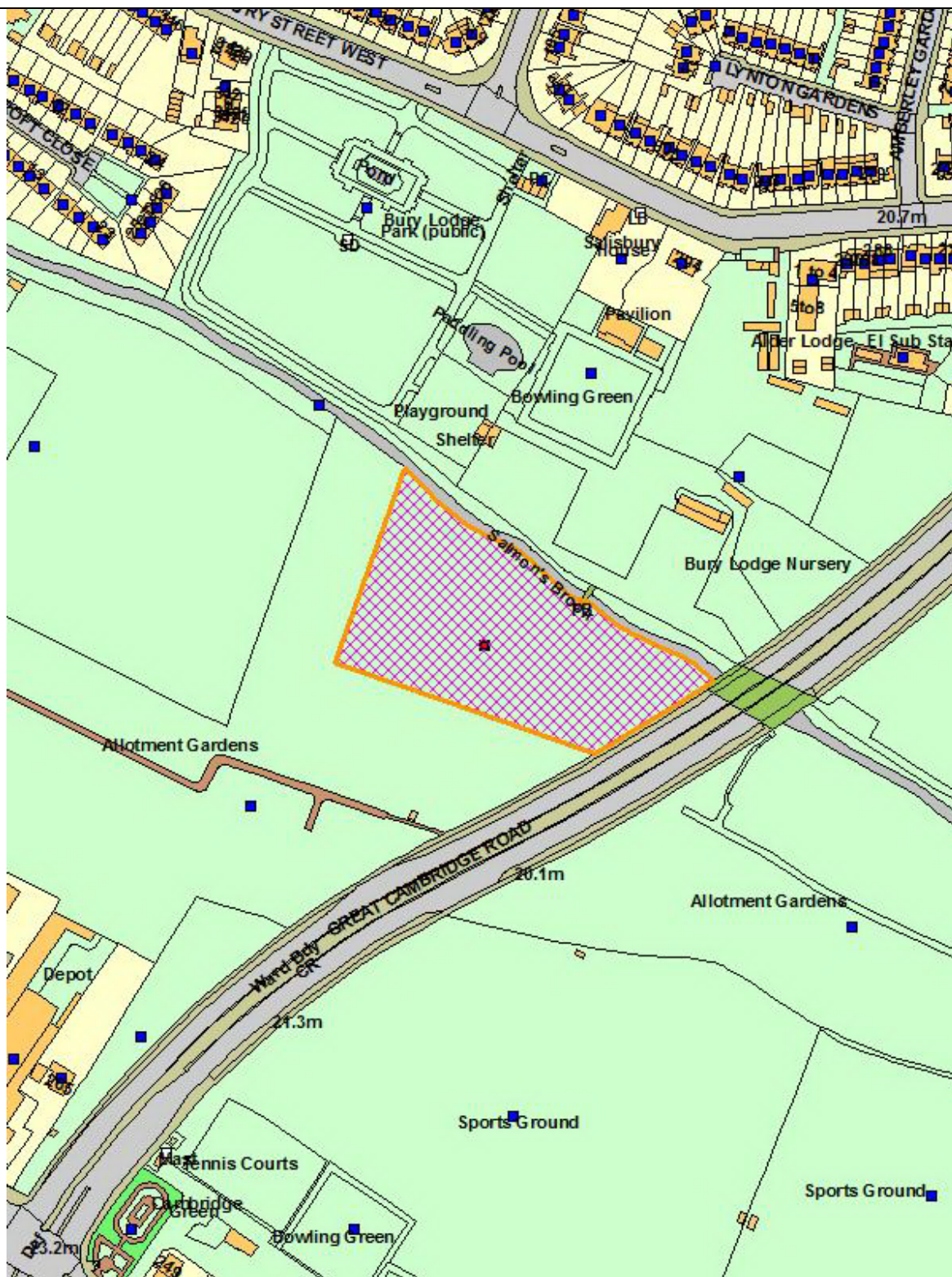
Mr Ian Russell
Civic Centre
Silver Street
Enfield
London
EN1 3XA

Agent Name & Address:

Enfield Council
Civic Centre
Silver Street
Enfield
London
EN1 3XA

RECOMMENDATION: That planning permission be deemed to be **GRANTED** in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992 subject to conditions.

Ref: 15/01975/RE4 LOCATION: Nursery Land To The South Of , Salmons Brook , , N9 9SH



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Scale 1:2500

North



1.0 Site and Surroundings

- 1.1 The site is located on the south side of Salmons Brook and covers an area of approximately 0.8 hectares; it was previously used as a tree nursery linked to the operation of Bury Street Lodge depot. The nursery use ceased some ten years ago and the site is vacant and overgrown. The site is not currently open to the public. Directly to the west of the site is the A10 Great Cambridge Road. The site also adjoins Church Street allotments.
- 1.2 The site comprises a mosaic of dense scrub and scattered young trees and vegetation and open areas of grass. Salmons Brook also forms part of the site, at this location the “brook” is a modified, fast flowing stream with steep, partially treed banks with very little bankside or in stream vegetation.
- 1.3 The site is also designated as Metropolitan Open Land.

2.0 Proposal

- 2.1 The application proposes a series of ponds, water treatment basins and swales to create wetlands and other SuDS features. This will involve excavation and re contouring of the site through earthmoving works as well as landscaping and replanting of the site. The proposals also include the re-naturalisation of the banks of the Salmons Brook, new, wildlife friendly planting and other habitat enhancements.
- 2.2 A total of 5 wetland cells are proposed, Cell 1 (550m²) and Cell 2 (350m²) these are ground water wetlands and Cell 3 (200m²), Cell 4 (150m²) and Cell 5 (100m²) which are surface water wetlands. As part of the re-contouring of the land the maximum increase in some of the re-contoured areas is approx. 3.4m in height.
- 2.3 It is also proposed to provide a combined 3m wide footpath and cycle way (not segregated) along Salmons Brook that will improve access to the new open space which on completion would be open to the public. Street lighting would also be provided along the route of the cycle way/footway. The surface of the footpath/ cycle way would be primarily asphalt, granite setts and resin bound gravel will be used in some areas.
- 2.4 The proposed scheme would deliver the following benefits:
 - Enhanced biodiversity within the locality
 - Improved water quality to Salmons Brook
 - Reduced flood risk benefits to properties downstream in Edmonton
 - Improved amenity value and delivery of a new public open space
 - A combined footpath/cycleway along Salmons Brook to also improve access to the open space
 - Public open space area

3.0 Relevant Planning Decisions

- 3.1 None

4.0 Consultations

4.1 Statutory and non-statutory consultees

4.1.1 Thames Water

No objection raised in terms of sewerage infrastructure.

4.1.2 Environment Agency

They have been involved in the development of the scheme and are supportive of its objectives. They have no objections to this application. They note that there are limited details on some aspects of the plan. However, they are satisfied that these details can be confirmed during the Flood Defence Consent Stage. The supporting documents confirm that all pedestrian access will be set above the 100 year plus climate change level. A 20m span would also leave space for the abutments to meet their requirements. They consider that the application is compliant with the water framework directive and will help the waterbody move towards its objective. The scheme will also have wider environmental benefits.

4.1.3 Traffic and Transportation

No objection subject to a construction management plan to deal with the impact of any construction traffic and parking demand from contractors etc.

4.1.4 Tree Officer

No objections to the proposal.

4.1.5. Historic England

The site lies within an Archaeological priority area defined primarily for the presence of the Ermine Street Roman Road and associated settlement along it. Appraisal of the application using the Greater London Historic Environment Record and information submitted with the application indicates that the development would not cause sufficient harm to justify refusal provided a condition is applied to require strip, map and sampling investigation.

4.2. Public Response

4.2.1 270 letters were sent to surrounding residents. In addition 4 site notices were also displayed. A total of 4 letters of objection have been received raising the following points:

- Close to adjoining properties
- Increase traffic
- Loss of privacy, nuisance
- Not enough information in particular regarding cycle path & footpath details
- Potential contaminated land
- Safety and security issues
- No entrance exit details
- Lighting crucial
- Emergency services access
- Hours of operation

- Cycle path across A10 serious safety liability
- Increase pollution
- Increase traffic
- Out of keeping with character of area
- Would result in an area for schoolchildren to gather potential anti-social behaviour
- Large area of natural habitat destroyed affect wildlife
- Concerned about proximity of path to Edmonton County path would run alongside the outer edge of the entire northside of the grounds. This will transform the area from a private and relatively secure boundary in to one difficult to manage.
- Safety issue for school proximity of path
- Would need to construct large robust fencing to obstruct any views in/ out of school and this would spoil views
- Path will run within feet of primary school entrance

5.0 Relevant Policy

5.1 London Plan

- Policy 5.13 Sustainable drainage
- Policy 5.14 Water quality and wastewater infrastructure
- Policy 5.18 Construction, excavation and demolition waste
- Policy 6.9 Cycling
- Policy 6.10 Walking
- Policy 7.17 Metropolitan Open Land
- Policy 7.19 Biodiversity and access to nature

5.2 Core Strategy

- CP21 Delivering Sustainable Water Supply, Drainage & Sewerage Infrastructure
- CP25 Pedestrians & Cyclists
- CP28 Managing Flood Risk
- CP29 Flood Management Infrastructure
- CP30 Maintaining & improving the quality of the built and open environment
- CP31 Built Heritage Landscape
- CP34 Open space
- CP36 Biodiversity

5.3 DMD

- DMD 47 New roads, access and servicing
- DMD 59 Avoiding and reducing flood risk
- DMD 61 Managing Surface water
- DMD 62 Flood control and mitigation measures
- DMD 63 Protection and improvement of water courses and flood defences
- DMD 64 Pollution control
- DMD 70 Water quality
- DMD 71 Protection and enhancement of open space
- DMD76 Wildlife corridors
- DMD 77 Green Chains
- DMD 78 Nature Conservation

5.7 Other relevant policy/guidance

National Planning Policy Framework
National Planning Policy Guidance

6.0 Analysis

6.1 Principle

6.1.1 The site is designated as Metropolitan Open Land, policy DMD 71 states that essential facilities that would support the enjoyment of, and maintain the openness of open space will be acceptable subject to certain criteria. Core Policy 34 states that the Council will protect and enhance existing open space to improve the provision of good quality and accessible open space. London Plan Policy 7.17 Metropolitan Open Land is also relevant. It is considered that the proposal achieves the objectives of these planning policies, as discussed below.

6.2.2 The proposed wetland is to be situated on land that is currently overgrown and disused. The proposals which include two new ponds, a large wetland area, and landscaping and other wildlife enhancements would still retain the openness of the metropolitan land as well as delivering a number of significant ecological gains as well as providing public access.

6.2.3 Overall, it is considered that the site would be enhanced by the wetlands and would create a useable and multi-functioning area that is currently under-utilised and overgrown. The re contouring and landscaping of the site would also allow for the creation of an interesting and varied space with a number of different features, new types of habitat and an emphasis on an informal recreation area. The principle of the change of use of this former nursery site area to form a public open space is considered acceptable in terms of enhancing the area as well as improving accessibility and is supported.

6.2.4 The planned cycleway forms part of the Quietway link from Enfield Town to Edmonton Green and combines the rest of the Cycle Enfield network to encourage safe cycling across the borough. On the east side of Bury Lodge it is proposed to install a toucan crossing to provide safe access across the A10 Great Cambridge Road towards Edmonton. To the west, it is proposed that the cycleway will eventually continue along the river as far as Little Bury Street. Where planning permission is required, separate planning applications would be submitted for the additional works.

6.2 Impact on Character of Surrounding Area and Landscaping

6.2.1 It is not considered that the newly created landscape and wetland habitat would adversely impact on the character and appearance of the area. The openness of the Metropolitan Open Land would still be retained and preserved. In addition the proposals would also provide a significant enhancement to the area both visually and in biodiversity terms. A landscaping scheme has also been submitted which the council's tree officer is satisfied with.

6.3 Impact on Neighbouring Properties

6.3.1 It is not considered that the proposed works would adversely impact on the amenities of surrounding neighbours; there are no residential properties that directly adjoin the site. Whilst there would be disruption during the construction process, the impact of construction works would be managed through an appropriate construction method statement condition. It is not considered that the works including re-contouring of parts of the land would have any significant adverse impact on Church Street allotment site which also adjoins the site.

6.3.2 It is recognised that a number of objections have been received from local residents. However it is not considered that the issues raised are sufficient to justify refusal of the scheme.

6.4 Highway Safety and Construction

6.4.1 Traffic and Transportation have raised no objection to the scheme, subject to a condition relating to the submission of a construction method statement. The construction method statement would need to provide details of access and parking during construction. Details regarding the lighting and surfacing of the 3m combined footway/ cycleway can also be appropriately conditioned. The proposed cycle path will form part of the Enfield Quietways schemes and the section within the application site forms part of this application. The additional links beyond the application site would be subject to separate applications.

6.5 Biodiversity

6.5.1 With regards to biodiversity there are no significant ecological constraints to the proposed development. The site of the proposed Bury Street SuDS Park is currently an overgrown former council nursery of limited ecological value. The proposals, which include two ponds, a large wetland area, as well as new planting, will result in significant ecological gain. In addition it will help to deliver a number of objectives set out in the Borough's Biodiversity Action Plan and targets set in the London Biodiversity Action Plan and will also have a significant and positive impact on Salmons Brook.

6.6 Trees

6.6.1 The Tree Officer has raised no objection to the proposal. The development will seek to provide additional trees in the area surrounding the site which will improve the appearance of the area as well as enhancing biodiversity.

7.0 Conclusion

7.1 The development of the wetlands will provide significant enhanced biodiversity improvements within the locality, help improve water quality to Salmons Brook, reduce flood risk benefits to properties downstream in Edmonton as well as delivering a new area of public open space. This would be in accordance with adopted policies as well as help to deliver several of the objectives set out in Enfield's Biodiversity Action Plan as well as targets set in the London Biodiversity Action Plan. Approval of the application is accordingly recommended subject to appropriate conditions.

8.0 Recommendation

8.1 That planning permission be deemed to be **GRANTED** in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992 subject to conditions

1. C60 Approved Plans
2. Archaeological condition
3. Construction Management Plan
4. Details of Lighting
5. Details of Surfacing of footpath/ Cycle way
6. C51A- Time Limit

NOTES

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4. ALL LEVELS ARE IN METRES AND RELATE TO THE DATUM LEVEL UNLESS NOTED OTHERWISE.
5. THIS DRAWING IS TO BE USED IN DRAWINGS IN THE SAME SERIES.

- Groundwater Wetlands
- Surface Water Wetlands
- Raised areas
- Footpath/cycleway
- Tree To Be Planted
- Tree To Be Removed
- Existing Ground Levels
- Proposed Ground Levels
- Existing Contours
- Proposed Contours



PLANNING

CLIENT
LONDON BOROUGH
OF ENFIELD

JOB TITLE
BURY LODGE WETLANDS

DRAWING TITLE
PLAN AND SECTIONS



HIGHWAYS AND TRANSPORTATION

Structures & Watercourses

DESIGNED BY	IR	CHECKED BY	IR
DRAWN BY	LC	DATE	MAY 2015

DRAWING NO. LBE194-101

0 10 20 30 40 50 60 70 80m NATURAL SCALE

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 21st July 2015

Report of

Assistant Director, Planning,
Highways & Transportation

Contact Officer:

Andy Higham 020 8379 3848
Sharon Davidson 020 8379 3841
Ray Reilly 020 8379 5237

Ward:

Bush Hill Park

Ref: 15/02095/RE4

Category: LBE - Dev by LA

LOCATION: Firs Farm Playing Fields, Firs Lane, London, N21 2PJ

PROPOSAL: Creation of wetland area (1.2 ha), construction of combined footpath, cycleway and flood storage area within public park land, excavation works to create wetland basins, flow control chamber to existing culvert, vehicular access ramp to east and landscaping.

Applicant Name & Address:

Mr Ian Russell
Civic Centre
Silver Street
Enfield
London
EN1 3XA

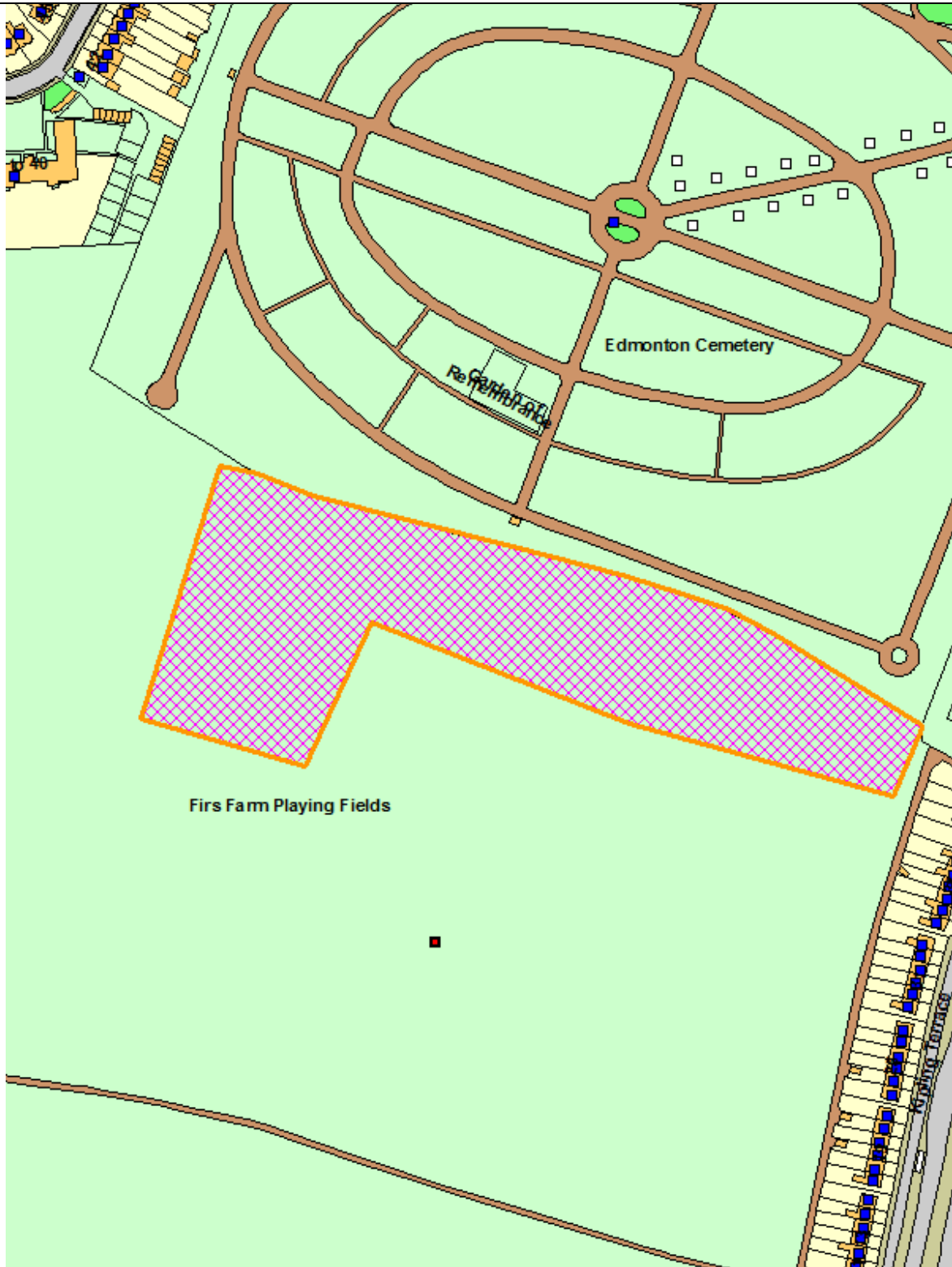
Agent Name & Address:

Enfield Council
Civic Centre
Silver Street
Enfield
London
EN1 3XA

RECOMMENDATION:

That planning permission be deemed to be **GRANTED** in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992 subject to conditions.

Ref: 15/02095/RE4 LOCATION: Firs Farm Playing Fields, Firs Lane, London, N21 2PJ



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Scale 1:2500

North



1.0 Site and Surroundings

- 1.1 Firs Farm Playing Fields is a public park situated within the Bush Hill Park Ward. It is a relatively large park that is bound by the residential houses on Hyde Park Avenue to the north, Edmonton Cemetery to the north east, the A10 to the east, residential streets to the south and Firs Lane to the west
- 1.2 The area is a predominantly flat grassed area to the north end of the park, south of Hyde Park Avenue and situated in between Firs Lane, Edmonton Cemetery and the A10.
- 1.3 The site is designated as Metropolitan Open Land and is adjacent to a small wooded section of the park designated as a site of Local Importance for Nature Conservation.

2.0 Proposal

- 2.1 The application proposes engineering works in order to create a multi-functioning wetland area. This wetland is proposed to introduce a water feature to the park to enhance the visual amenity of the area and re-invigorate a part of the park that is currently underused. It is also proposed to restore a culverted watercourse- Moore Brook..
- 2.2 This application proposes a 4th Cell in addition to the three cells further west on the playing fields that were approved under application 15/01218/RE4 at 21st April Planning Committee This is a result of additional grant funding and this fourth cell as proposed would be 50m x 25m wide and 2 m deep, it would be located to the west of the original approved 3 cells. The soil from this excavation would then be re-positioned to the immediate west of the wetland ponds where a new raised landscaped area is to be created with sloping gradients 1.4m above existing ground level.
- 2.3 The original proposed wetlands itself was broken into 3 separate cells 1200m², 800m² and 1500m² respectively. This 4th cell would be approximately 1000m². There would be new pathways created between each cell in Breedon gravel that would link into new paths created in easterly and westerly directions away from the park. The application also proposes a new cycle link across Firs Farm Playing Fields linking Firs Lane to the A10.

3.0 Relevant Planning Decisions

- 3.1 15/01218/RE4: Creation of a wetland area (approximately 4,000 sq.m.) to the north of existing sports pitches involving restoration of culverted watercourse, Moore Brook, excavation and landscaping and creation of footpaths and cycle ways. Granted with Conditions

4.0 Consultations

4.1 Statutory and non-statutory consultees

4.1.1 Environmental Health

No objection raised as there would be no negative environmental impact in regards to human health. In particular there are no concerns regarding air quality, noise, or contaminated land.

4.1.2 Environment Agency

No objection raised.

4.1.3 Traffic and Transportation

No objection raised. The Construction Management Plan is also considered acceptable and the work will link into the existing approved scheme for the other element of the project already approved.

4.1.4 Tree Officer

No objection. The information submitted in relation to the trees is acceptable

4.2 Public response

4.2.1 Letters were sent to 42 adjoining and nearby residents. In addition 5 site notices have been displayed outside the site. Two letters of objection have been received and a petition signed by 11 residents of Hyde Park Avenue that back onto the playing fields.

The petition and the 2 letters of objection raise some or all of the following issues summarised as follows:

- No neighbouring residents have been consulted regards this proposal. A discussion needs to be held with the local residents who are directly affected by these plans and in particular the residents in the even numbered properties from 2 through to 24 Hyde Park Avenue.
- Too much interference with the natural environment.
- If it comes into being, trees would have to be kept low, as the view of the fields would be obstructed from those local to them and it would impact on security.
- Trees falling into neighbouring gardens is also a problem for residents.
- Wetlands would create stagnant and polluted water, which would be unpleasant for walkers, runners cyclists and other users of the area.
- Proposed works will deprive dog walkers from enjoying this area of the park.
- The proposal will cause additional traffic and parking issues and will be an added feature to bring people to the site.
- No details have been provided as to how the area will be secured.
- An open waterway so close to our property will leave us open to increased insurance premiums as the insurance companies will place us in a higher risk category. This could also have an effect on future sales of any property so close to an open waterway.

- The field is currently a vast open green field and residents who live in the area, cannot see any reason why it should be dug up, part flooded with the associated health risks and become 24/7 security hotspot.

5.0 Relevant Policy

5.1 London Plan

- Policy 5.13 Sustainable drainage
- Policy 5.14 Water quality and wastewater infrastructure
- Policy 5.18 Construction, excavation and demolition waste
- Policy 6.9 Cycling
- Policy 6.10 Walking
- Policy 7.19 Biodiversity and access to nature

5.2 Core Strategy

- CP21 Delivering Sustainable Water Supply, Drainage and Sewerage Infrastructure
- CP28 Flooding
- CP29 Flooding
- CP30 Maintaining and improving the quality of the built and open environment
- CP34 Open space
- CP36 Biodiversity

5.3 DMD

- DMD 47 New roads, access and servicing
- DMD 59 Avoiding and reducing flood risk
- DMD 62 Flood control and mitigation measures
- DMD63 Protection and improvement of water courses and flood defences
- DMD 64 Pollution control
- DMD 70 Water quality
- DMD 71 Protection and enhancement of open space
- DMD 78 to 81 Green Infrastructure

5.4 Other relevant policy/guidance

- NPPF
- NPPG

6.0 Analysis

6.1 Principle

- 6.1.1 Firs Farm Playing Fields is an open space on the boundary between Edmonton and Winchmore Hill. The site is dominated by sports pitches (12 football and 1 rugby pitch); however, there are substantial areas around the sports facilities that offer opportunities to create more natural open spaces. Planning permission has already been granted for the first phase of this development. It is proposed to re-landscape these areas to restore a culverted watercourse (Moore Brook, which is 'lost' tributary of Pymmes Brook), create a wetlands area, and enhance woodlands and grasslands. The area of wetlands to be created is approximately 4,500m² in total .

- 6.1.2 It has been agreed with Enfield's Park Department, that the excavated material to create the wetland is to be reused within Firs Farm Park, to create a new landscaped area to the immediate west of the wetland area. This is an area that has been identified as requiring improvement. This proposed scheme, and the use of the excavated materials, form part of the strategic improvements to Firs Farm Playing Fields.
- 6.1.3 Firs Farm playing fields is designated as Metropolitan Open Land. Policy DMD 71 states that essential facilities that would support the enjoyment of, and maintain the openness of open space will be acceptable subject to certain criteria. Core Policy 34 states that the Council will protect and enhance existing open space to improve the provision of good quality and accessible open space. It is considered that the proposal achieves the objectives of these planning policies, as discussed below.
- 6.1.4 The proposed wetland is to be situated on land that is currently grassed with trees around its periphery. This area within the park has no playgrounds on it, no pitches and no formal paths through it. Thus currently, it is an under-utilised section of the park. However, the proposed wetland is to include paths running through it in strategic locations, linking it to the wider park and outlying area. It is therefore considered that the proposed development would support the enjoyment of the park. Furthermore, it is considered that the proposal would not compromise the openness of the park and existing greenery will be enhanced through additional native planting within the wetland area. Similar to the original approved application it is considered this 4th Cell would further enhance the appearance of the park.
- 6.1.5 Overall, it is considered that the existing park would be enhanced by the wetland as it would create a useable and multi-functioning area that is currently under-utilised. The proposal would benefit the park and its users in regards to recreational function and visual amenity, as well the environmental and biodiversity enhancements it creates.

6.2 Impact on Character of Surrounding Area and Landscaping

- 6.2.1 Similar to the determination of 15/01218/RE4, this proposed 4th wetland cell and the associated works would be in keeping with the park, which is characterised by trees, grass and shrubs. The footpaths are to be surfaced in Breedon Gravel.
- 6.2.3 There has also been a landscaping plan submitted that has been deemed acceptable by the council's tree officer.

6.3 Impact on Neighbouring Properties

- 6.3.1 The proposal would not impact neighbouring residents in regards to outlook, and privacy. Whilst the residential properties on Hyde Park Avenue and Firs Lane are relatively close to the site, the nature of the proposals will not impact upon those properties. There would be obvious disruption during the construction process, however the project should only take approximately 6-8 weeks to complete. The impact of construction works would be managed through a construction management plan.

6.3.2 It is recognised that a number of objections have been received from residents particularly those adjoining from Hyde Park Avenue, however taking into account the benefits proposed it is not considered the scheme warrants refusal. In addition the majority of the scheme already has planning approval, under 15/01218/RE4. This scheme is proposing a 4th cell to the south of the cemetery which is relatively far removed from the nearest house on Hyde Park Avenue.

6.3.3 All factors considered the planning application would not have a detrimental impact upon neighbouring occupiers.

6.4 Highway Safety and Construction

6.4.1 Traffic and Transportation have raised no objection to the scheme and they have confirmed that the construction management plan that has been submitted is acceptable.

6.5 Biodiversity

6.5.1 There are no ecological constraints to the proposed development. Whilst the site is located near an area of the park designated as Local Nature Conservation (wooded area to the west and south), it would not impact upon these areas. Overall the scheme is encouraged from a biodiversity perspective and will help to re-introduce new species to the area.

6.6 Trees

6.6.1 The Tree Officer has raised no objection to the proposal. The development will seek to provide additional trees in the area surrounding the site which will improve the appearance of the park as a whole which is encouraged.

7.0 Conclusion

7.1 The proposal seeks to introduce a wetland area into the park to improve the appearance of the park, the visual amenity and attractiveness of this area along with the restoration of an old watercourse- Moore Brook. This will also bring an added biodiversity benefit which is to be welcomed. The proposal is therefore supported. In addition the proposed path way and cycle path will improve access through the park.

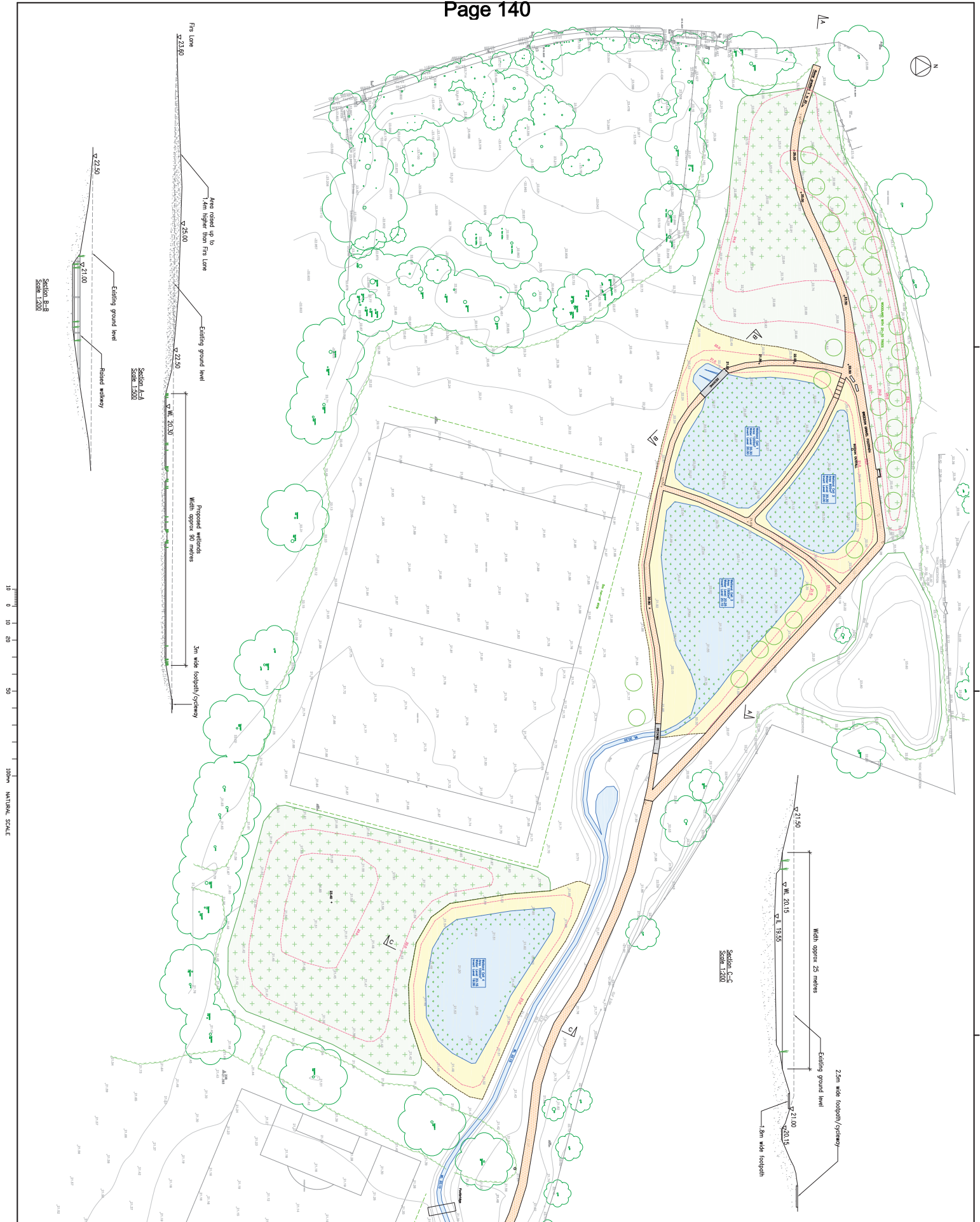
8.0 Recommendation

8.1 That planning permission be deemed to be GRANTED in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992 subject to conditions

1. C51A – Three year time limit
2. C60 Approved Plans

The use and development hereby permitted shall be carried out in accordance with the approved plans, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.



- NOTES**
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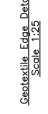
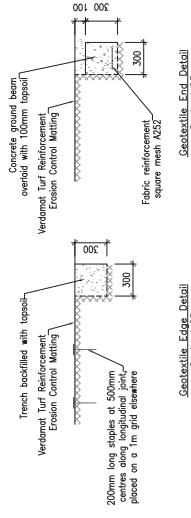
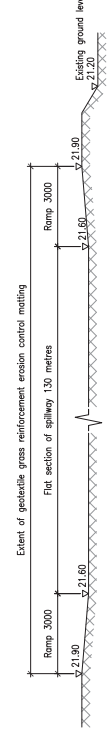
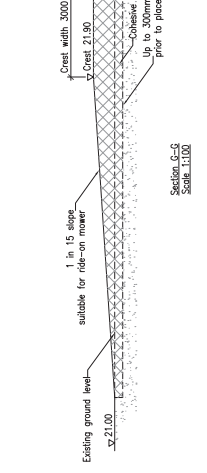
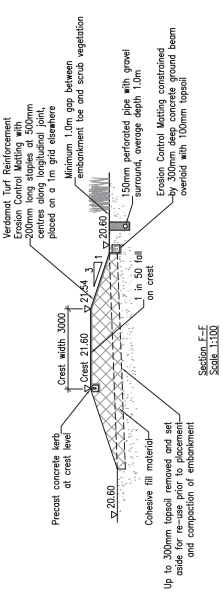
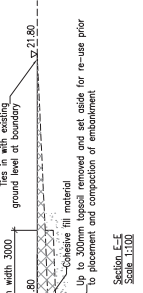
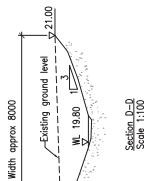
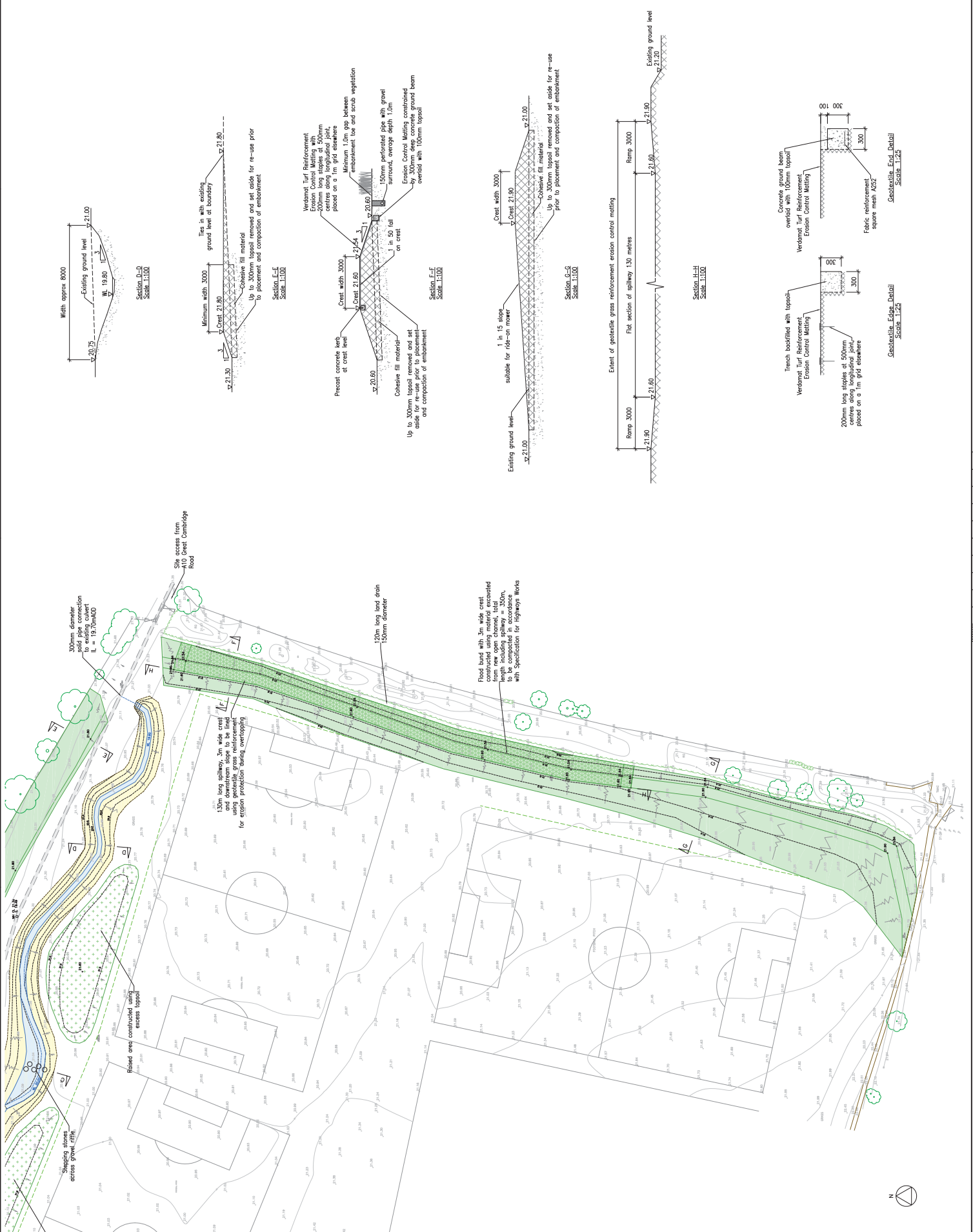
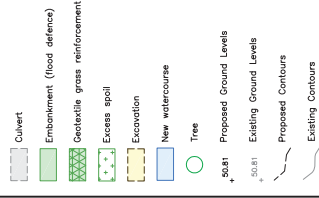
- KEY**
- Water
 - Reeds
 - Footpath-gateway
 - Raised areas
 - Informal Grass
 - Exclosure
 - Tree
 - Tree To Be Removed
 - Tree To Be Planted
 - Proposed Ground Levels
 - Existing Ground Levels
 - Proposed Contours
 - Existing Contours

Revision	1	Issue	1	Date	15/05/2015
Author	IR	Checked	IR	Date	15/05/2015
Drawn	IR	Approved	IR	Date	15/05/2015
Scale	1:1000	Scale	1:1000	Scale	1:1000
Drawing No.	LBEB07-011	Project No.	LBEB07-003	Client	London Borough of Enfield
Job Title	Firs Farm Wetlands	Client	London Borough of Enfield	Client	London Borough of Enfield
Planning	Planning	Client	London Borough of Enfield	Client	London Borough of Enfield
Client	London Borough of Enfield	Client	London Borough of Enfield	Client	London Borough of Enfield
Job Title	Firs Farm Wetlands	Client	London Borough of Enfield	Client	London Borough of Enfield
Drawing Title	Plan and Sections (West)	Client	London Borough of Enfield	Client	London Borough of Enfield
Enfield Council	Enfield Council	Client	London Borough of Enfield	Client	London Borough of Enfield

NOTES

- DO NOT SCALE FROM THIS DRAWING.
- ANY ERRORS OR OMISSIONS TO BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY FOUND.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.
- ALL LEVELS ARE IN METRES AND RELATE TO ORDNANCE DATUM LEVEL UNLESS NOTED OTHERWISE.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS. REFER TO DRAWING NO. LBE127-003 FOR SECTIONS AND DETAILS.

KEY



100mm NATURAL SCALE

10 0 10 20 30 40 50

ENFIELD Council

DATE:	AUG 2014
IR:	1511
IR:	1511
IR:	1511
IR:	1511

DRAWING NO. LBE087-002

CONSTRUCTION

CLIENT: LONDON BOROUGH OF ENFIELD

JOB TITLE: FIRS FARM PLAYING FIELDS RIVER RESTORATION WORKS

DRAWING TITLE: PLAN AND SECTIONS (EAST)



Section C-C
Scale: 1:200

0 10 20 30 40 50 100m METRE SCALE

- NOTES**
1. DO NOT SCALE FROM THIS DRAWING.
 2. ANY ERRORS OR OMISSIONS TO BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY FOUND.
 3. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.
 4. ALL LEVELS ARE IN METRES AND RELATE TO ORDNANCE DATUM LEVEL UNLESS NOTED OTHERWISE.
 5. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS REFER TO DRAWING NO. LBEB07-003 FOR SECTIONS AND DETAILS.

- KEY**
- Water
 - Reedbeds
 - Footpath—gysieway
 - Raised areas
 - Informal Grass
 - Excavation
 - Tree
 - Tree To Be Removed
 - Tree To Be Planted
 - Proposed Ground Levels
 - Existing Ground Levels
 - Proposed Contours
 - Existing Contours

2.0 x 2.0m flow control chamber on existing concrete structure using business steel plate bolted to downstream headwall

Vehicle access ramp
Slope 1 in 15

Revision details	Done
STATUS	Final
PLANNING	
CLIENT	LONDON BOROUGH OF ENFIELD
JOB TITLE	FIRS FARM WETLANDS
DRAWING TITLE	PLAN AND SECTIONS (EAST)
DATE	MAY 2015
SCALE	AS SHOWN
DRAWING NO.	LBEB07-012

MUNICIPAL YEAR 2015/2016 REPORT NO.**COMMITTEE:**

PLANNING COMMITTEE

21.07.2015

REPORT OF:Director - Regeneration and
Environment

Contact Officers:

Isha Ahmed X3888 isha.ahmed@enfield.gov.uk
Robert Davy X2263 robert.davy@enfield.gov.uk

See Annexes 1 & 2

AGENDA – PART 1	ITEM
SUBJECT - S106 AGREEMENTS – MONITORING INFORMATION WARDS: ALL	

1. SUMMARY

1.1 This report provides an update on the monitoring of Section 106 Agreements (S106) and progress on Section 106 matters during the period 1 April 2014 to 31 March 2015. It provides an overview of:

- The position regarding current S106 Agreements, categorised by constituency, including the type and amount of financial obligations, progress on spend and implementation of schemes;
- New S106 agreements agreed and signed since April 2014.

1.2 This report is provided for information only. Members are invited to contact the officers named above for more information on individual schemes.

2. RECOMMENDATION

2.1 That Planning Committee note the contents of this Report and its Annexes.

3. S106 MONITORING OVERVIEW

3.1 At 31 March 2015 there were 197 individual S106 agreements in the programme, containing approximately 960 heads of terms.

3.2 Funds have been received for 106 of these agreements and projects are currently being delivered. The position regarding the implementation of these S106 agreements at the end of the monitoring period is set out in Annex 1. A copy of the

spreadsheet has also been placed in the Members Library. An overview of the financial information contained in Annex 1 is set out in Table 1 below, excluding planning conditions which are not formal S106 agreements.

Table 1: Summary of S106 Funds Received and Expenditure Programmed

Status	Total Amount (£)
Opening Balance at the start of 2014/15	-5,272,109.58
Total Amount of S106 payments received in 2014/15 at 31 March 2015	-1,654,090.79
In-Year Movements	
<ul style="list-style-type: none"> • Sub-total of outward in-year movements • Money moved to contingency • Total amount drawn-down in 2014/15 	<p>12,091.52</p> <p>383.71</p> <p>1,274,358.70</p>
Of which:	
<ul style="list-style-type: none"> • Q1 Drawdown Total • Q2 Drawdown Total • Q3 Drawdown Total • Q4 Drawdown Total 	<p>£8,920.00</p> <p>£44,576.50</p> <p>£248,169.94</p> <p>£972,564.26</p>
Total 2014/15 revenue drawdown = £604,115.56	
Total 2014/15 capital drawdown = £670,243.44	
Interest received	-21,678.31
Closing balance at 31 March 2015	-5,661,044.75
Total available balance of which:	
<ul style="list-style-type: none"> • Earmarked/Committed to projects • Allocated to department but not committed to a specific project 	<p>-2,858,416.22</p> <p>-2,802,628.53</p>
Including: <ul style="list-style-type: none"> S106 Contingency Fund Pooled Carbon Fund Contributions 	<p>111,369.15</p> <p>107,626.93</p>
	-5,661,044.75

* Includes £10,000 refunded as part of TP/06/0427

- 3.3 As shown in Table 1 above, during financial year 2014/15 the Council received £1,654,090.79 in S106 financial contributions from schemes where planning permissions were implemented. This increased the available total balance to £5,661,044.75, taking account of monies drawn down and other movements across the year.
- 3.4 Of the funds received, in excess of £1m was for the key areas of Affordable Housing delivery and Education provision. The remainder will be spent on site-specific mitigation measures associated with offsetting the negative impacts made by developments. Examples of these include highway works, CCTV provision, public realm, biodiversity and open space improvements as necessary. These funds have been allocated to the relevant department accordingly.
- 3.5 Quarterly drawdowns are in place for revenue projects in order to more accurately reflect expenditure throughout the financial year, and to provide an up-to-date balance for reporting purposes.

4 S106 FUNDS AGREED BUT NOT YET RECEIVED

- 4.1 Paragraph 3.1 notes that at the time of writing there are 197 active S106 agreements in the programme. At the present time, there are 91 agreements where contributions have been agreed but funds have not yet been received. In these cases, although agreements have been made between the Council and relevant applicant(s) or developer(s), the payments have not been received as the relevant 'trigger points' (i.e. stages of development) have not yet been reached. Typical 'trigger points' for receipt of payments are the commencement of development works on site, or the first occupation of the development. Further details of these S106 agreements are included in Annex 2.
- 4.2 Attention must be drawn to the fact that not all financial contributions secured via signed S106 agreements will ultimately be received by the Council. For example, the landowner/developer may choose not to progress development, or in the event that a planning permission expires, a new planning application(s) and S106 agreement may supersede an earlier agreement. Applicants may also seek to vary their original deed via a formal Deed of Variation.
- 4.3 During November 2014 the Government introduced an update to national policy. This set out that contributions for Affordable Housing and other tariff-based contributions, such as Education, could not be sought from schemes of 10 units or less. Regrettably, this change in policy is likely to impact upon the overall level of monies received through the Section 106 process over the forthcoming years.
- 4.4 Table 2 below summarises the financial contributions that have been negotiated and included in these S106 agreements. It shows that in excess of £10m could potentially be received by the Council, once the relevant planning permissions are implemented. Please note that this figure is in addition to the total current balance contained in Table 1.

Table 2: Summary of S106 Funds not yet received – awaiting implementation of planning consent (April 2015)

	Expected to be received once payment is triggered (£)
Education	3,848,928.44
Affordable Housing	2,843,126.28
Highways/ Traffic and Transportation	925,885.00
Health Care	1,492,976.00
Parks	282,225.00
Sustainability (carbon fund and air quality monitoring)	87,475.00
Employment and Training	133,500.00
Community Facilities	133,000.00
Public Art	30,000.00
Other	972,763.06
Grand Total	10,749,878.78

5. COMMENTS OF THE DIRECTOR OF FINANCE, RESOURCES AND CUSTOMER SERVICES AND OTHER DEPARTMENTS

Financial Implications

5.1 The financial position as described in the report has been discussed with Finance staff and reflects the position as reported in the S106 monitor as of 31 March 2015. Annex 1 contains proposals for the allocation of approved S106 monies to specific work programmes. Approvals of individual schemes within the proposed programme are subject to separate reports and full financial appraisal. Expenditure incurred on these schemes will be reported as part of the regular monitoring process and drawn down from available S106 funds at year-end. Amounts committed to projects including the nature of potential expenditure have been updated following advice from officers leading on individual schemes.

Legal Implications

5.2 None

6. Background Papers

None.

Annex 1

S106 Monitoring Spreadsheet – Year End (April 2015). A hard copy will be placed in the member's library

Annex 2: Agreements signed where payments have not yet been received

A hard copy will be placed in the member's room.

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Consultancy	Total financial obligation	Obligation Split	SPEND DEADLINE - BUDGET - Project Complete - BED - (10/12/2015 - 21/2015)	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	CURRENT BALANCE Split - (includes in year)	SPEND RECEIPTS - (to track those ON A CODES 14)	SPEND COMMITMENTS - (ON A CODES 15)	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance - After SAP Transactions	Other S106 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments	
Annex 1 S106 Agreements - Money Received																														
Edmonton																														
St. Madwen Development	EDMONTON GREEN Land Shopping Centre TP/00/0500 TP/02/0400 TP/02/0400/1	Extension and new build to form accommodation for shopping (including food and drink uses and financial and professional services), leisure, offices and ancillary uses together with new access, servicing, parking and landscaping including a new bus facility.	18.09.00	Edmonton Green	Edmonton	769,204.00	20,000.00	13.05.10	Open Space Contribution means the provision of upgrading works to open spaces in the Edmonton Green Area	Matthew Watts	PARKS	CT0167	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	HBRS - Fore Street Enhancements - Complete
St. Madwen Development	EDMONTON GREEN Land Shopping Centre TP/00/0500 TP/02/0400 TP/02/0400/2	Extension and new build to form accommodation for shopping (including food and drink uses and financial and professional services), leisure, offices and ancillary uses together with new access, servicing, parking and landscaping including a new bus facility.	18.09.00	Edmonton Green	Edmonton	769,204.00	20,000.00	13.05.10	Landscaping Contribution for the provision of upgrading works pursuant to the Green Chain Policy	Matthew Watts	PARKS	CT0168	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	HBRS - Fore Street Enhancements - Complete
St. Madwen Development	EDMONTON GREEN Land Shopping Centre TP/00/0500 TP/02/0400 TP/02/0400/3	Extension and new build to form accommodation for shopping (including food and drink uses and financial and professional services), leisure, offices and ancillary uses together with new access, servicing, parking and landscaping including a new bus facility.	18.09.00	Edmonton Green	Edmonton	769,204.00	20,000.00	07.04.10	Employment & Training Contribution the funding of employment and training initiatives related to the Edmonton Partnership Initiative	Mary O'Dellman	BED	CT0169	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	To fund Jobsnet for 12/13. Complete	
St. Madwen Development	EDMONTON GREEN Land Shopping Centre TP/00/0500 TP/02/0400 TP/02/0400/4	Extension and new build to form accommodation for shopping (including food and drink uses and financial and professional services), leisure, offices and ancillary uses together with new access, servicing, parking and landscaping including a new bus facility.	18.09.00	Edmonton Green	Edmonton	769,204.00	200,000.00	07.04.12	Community Benefits Contribution the landscaping and improvement to the existing open space in the vicinity of the application site and the provision of a purpose built children's play area/community facility	Anna Loughlin	BED	CT0170	-	0.74	-	0.74	-	-	-	-	-	-	-	-	-	-	0.74	-	0.74	Green Towers Architects Fees & Refurb. Complete.
St. Madwen Development	EDMONTON GREEN Land Shopping Centre TP/00/0500 TP/02/0400 TP/02/0400/5	Extension and new build to form accommodation for shopping (including food and drink uses and financial and professional services), leisure, offices and ancillary uses together with new access, servicing, parking and landscaping including a new bus facility.	18.09.00	Edmonton Green	Edmonton	769,204.00	200,000.00	07.04.12	Community Benefits Contribution the landscaping and improvement to the existing open space in the vicinity of the application site and the provision of a purpose built children's play area/community facility	Anna Loughlin	BED	CT0186	-	1.25	-	1.25	-	-	-	-	-	-	-	-	-	-	1.25	-	1.25	Green Towers Refurb. Complete.
St. Madwen Development	EDMONTON GREEN Land Shopping Centre TP/00/0500 TP/02/0400 TP/02/0400/6	Extension and new build to form accommodation for shopping (including food and drink uses and financial and professional services), leisure, offices and ancillary uses together with new access, servicing, parking and landscaping including a new bus facility.	18.09.00	Edmonton Green	Edmonton	769,204.00	100,000.00	07.04.12	Community Benefits Contribution the landscaping and improvement to the existing open space in the vicinity of the application site and the provision of a purpose built children's play area/community facility	Matthew Watts	PARKS	CT0186	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	ED7K Montagu Recreation Building. Complete.
St. Madwen Development	EDMONTON GREEN Land Shopping Centre TP/00/0500 TP/02/0400 TP/02/0400/7	Extension and new build to form accommodation for shopping (including food and drink uses and financial and professional services), leisure, offices and ancillary uses together with new access, servicing, parking and landscaping including a new bus facility.	18.09.00	Edmonton Green	Edmonton	769,204.00	9,204.00	5 years from the date of receipt	Community Benefits Contribution Revision to scheme secures additional monies through Deed of Variation for the creation or improvement of recreational/community provision or other amenity space within the vicinity of the Land	Anna Loughlin	BED	CT0150	-	1.42	-	1.42	-	-	-	-	-	-	-	-	-	-	1.42	-	1.42	Green Towers Refurb. Complete. Remaining balance drawn down in 13/14.
St. Madwen Development	EDMONTON GREEN Land Shopping Centre TP/00/0500 TP/02/0400 TP/02/0400/8	Extension and new build to form accommodation for shopping (including food and drink uses and financial and professional services), leisure, offices and ancillary uses together with new access, servicing, parking and landscaping including a new bus facility.	18.09.00	Edmonton Green	Edmonton	769,204.00	30,000.00	NO DEADLINE	Second CPZ Contribution On request of L&E	Liam Mulrooney	T&T		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Will now be 3 smaller CPZ, not 1 as previously intended. Report seeking approval goes to cabinet in Dec 14. Est. implementation date for new CPZ schemes in Summer 15
St. Madwen Development	EDMONTON GREEN Land Shopping Centre TP/00/0500 TP/02/0400 TP/02/0400/9	Extension and new build to form accommodation for shopping (including food and drink uses and financial and professional services), leisure, offices and ancillary uses together with new access, servicing, parking and landscaping including a new bus facility.	18.09.00	Edmonton Green	Edmonton	769,204.00	150,000.00	01.05.10	Implementation of Controlled Parking Zone for a scheme to control off street parking in the Edmonton Green Area	Liam Mulrooney	T&T	CT0210	44,980.85	-	-	44,980.85	-	-	-	-	-	9,084.05	9,084.05	155.50	-	36,052.30	44,980.85	8,928.55	8,928.55	Stage 2 consultation ended on 24/07/2013 and it is decided to go ahead with a CPZ. Expenditure of remaining balance is towards the implementation of the CPZ. Full expenditure is planned for Summer 2015.
TOTAL						769,204.00	769,204.00						44,980.85			44,980.85										44,980.85		81,076.56		

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Commitment	Total financial obligation	Obligation Split	SPEND DEADLINE - R115 - Final Complete, R12 + R18 - Final, R19 - Final	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	CURRENT BALANCE Split - includes in year	SPEND RECEIPTS - For Week Done ON A CODES 14	COMMITMENTS ON A CODES	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance - After SAP Transactions	Other S100 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments		
IKEA Ltd	Land at Glover Drive N18 99/0866	Construction of two-storey non-food retail unit with ancillary uses, car parking, access works and landscaping together with employment development (R1, R2 and R8) all linked by a new spine road.	25.09.02	Upper Edmonton	Edmonton	1,035,850.00	60,000.00	NO DEADLINE	Employment Scheme Implementation of the Employment scheme approved under clause 12.2 of the S100 Agreement	Mary O'Sullivan	RED	CT0141	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	To fund Jobsnet for 12/13 Complete		
IKEA Ltd	Land at Glover Drive N18 99/0866	Construction of two-storey non-food retail unit with ancillary uses, car parking, access works and landscaping together with employment development (R1, R2 and R8) all linked by a new spine road.	25.09.02	Upper Edmonton	Edmonton	1,035,850.00	20,000.00	NO DEADLINE	Design and Landscaping Contribution to a piece of artwork to be commissioned by the Council within the vicinity of the Development	Sharon Strutt	REGEN	CT0142	-	25,449.27	-	25,449.27	-	-	-	-	-	-	-	-	89.52	-	25,538.79	-	25,538.79	Meridian Water Public Art. To be spent in 15/16 as match funding with the councils resources on a public art installation to tie in with Meridian Water Master Plan.	
IKEA Ltd	Land at Glover Drive N18 99/0866	Construction of two-storey non-food retail unit with ancillary uses, car parking, access works and landscaping together with employment development (R1, R2 and R8) all linked by a new spine road.	25.09.02	Upper Edmonton	Edmonton	1,035,850.00		01.06.09	Highways Improvements Landscaping works along Meridian Way, traffic calming measures in the vicinity of the Property to safeguard the amenity of local residents, improvements to pedestrian access to the Property, including links with public transport, improvements to the cycle network	Sharon Strutt	T&T	CT0152	-	-	-	233,761.85	-	-	-	-	-	-	233,761.85	-	882.46	-	882.46	-	233,761.85	To be reallocated to Angel Gardens site development phases 2-3 incorporate a foot/cycle pathway that provides a connection between Angel Road Station (and Meridian Water in the future) and the existing pathway north-west of the site that continues to Edmonton Greens. Following commencement of phase 2, a DMR that works authority for the expenditure to implement phase 2-3 will be submitted. This Section 106 contribution will form part of the budget set-out in the DMR, to be utilised for construction of the foot/cycle pathway. All orders to be placed by March 2015 with balance fully drawn down by Summer 2015.	
IKEA Ltd	Land at Glover Drive N18 99/0866	Construction of two-storey non-food retail unit with ancillary uses, car parking, access works and landscaping together with employment development (R1, R2 and R8) all linked by a new spine road.	25.09.02	Upper Edmonton	Edmonton	1,035,850.00	245,000.00	01.06.09	Highways Improvements Landscaping works along Meridian Way, traffic calming measures in the vicinity of the Property to safeguard the amenity of local residents, improvements to pedestrian access to the Property, including links with public transport, improvements to the cycle network	Nana Fletcher	T&T	CT0152	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	DMR allocated to a Topographical survey, which is complete. Small overpend is to be funded by Meridian water Footpath and Crossing allocation (A210314 CT0152 below)	
IKEA Ltd	Land at Glover Drive N18 99/0866	Construction of two-storey non-food retail unit with ancillary uses, car parking, access works and landscaping together with employment development (R1, R2 and R8) all linked by a new spine road.	25.09.02	Upper Edmonton	Edmonton	1,035,850.00		01.06.09	Highways Improvements Landscaping works along Meridian Way, traffic calming measures in the vicinity of the Property to safeguard the amenity of local residents, improvements to pedestrian access to the Property, including links with public transport, improvements to the cycle network	Sharon Strutt	REGEN	CT0152	-	-	-	37,240.66	-	-	-	-	-	-	37,240.66	-	-	-	-	37,240.66	CT224066 committed to fund the development of improvements to the transportation network and signage in and around Meridian Water to assist on wayfinding, site orientation and the creation of a sense of place for Meridian Water, beginning with the Legible London Scheme. DMR authorised to enter into an agreement with TIL to progress the scheme.		
IKEA Ltd	Land at Glover Drive N18 99/0866	Construction of two-storey non-food retail unit with ancillary uses, car parking, access works and landscaping together with employment development (R1, R2 and R8) all linked by a new spine road.	25.09.02	Upper Edmonton	Edmonton	1,035,850.00		1.03.12	Industrial Land Contribution for measures as the Council considers appropriate to encourage industrial regeneration along the Lea Valley Corridor within the borough of Enfield, including without limitation industrial regeneration of the Montagu and Kenninghall Industrial Estates and the Harbor Road Industrial Area and environmental improvements along the length of Meridian Way and Mellison Avenue	Sharon Strutt	REGEN	CT0166	-	-	-	132,754.92	-	-	-	-	-	-	105,069.93	-	427.90	-	427.90	105,069.93	104,642.03	£105,069.93 (including interest) is committed to fund the development of a series of improvements to the transportation network and signage in and around Meridian Water to assist on wayfinding, site orientation and the creation of a sense of place for Meridian Water, beginning with the Legible London Scheme. DMR authorised to enter into an agreement with TIL to progress the scheme for implementation in 2014/15. Remaining unallocated balance is interest accrued, to be used to fund any overpends for these schemes. Purchase Orders for signage have recently been raised.	
IKEA Ltd	Land at Glover Drive N18 99/0866	Construction of two-storey non-food retail unit with ancillary uses, car parking, access works and landscaping together with employment development (R1, R2 and R8) all linked by a new spine road.	25.09.02	Upper Edmonton	Edmonton	1,035,850.00	315,880.00	1.03.12	Industrial Land Contribution for measures as the Council considers appropriate to encourage industrial regeneration along the Lea Valley Corridor within the borough of Enfield, including without limitation industrial regeneration of the Montagu and Kenninghall Industrial Estates and the Harbor Road Industrial Area and environmental improvements along the length of Meridian Way and Mellison Avenue	Sharon Strutt	REGEN	CT0166	-	-	-	27,484.99	-	-	-	-	-	-	27,484.99	-	-	-	-	-	-	-	Meridian Water Website. Holding website complete.
IKEA Ltd	Land at Glover Drive N18 99/0866	Construction of two-storey non-food retail unit with ancillary uses, car parking, access works and landscaping together with employment development (R1, R2 and R8) all linked by a new spine road.	25.09.02	Upper Edmonton	Edmonton	1,035,850.00		1.03.12	Industrial Land Contribution for measures as the Council considers appropriate to encourage industrial regeneration along the Lea Valley Corridor within the borough of Enfield, including without limitation industrial regeneration of the Montagu and Kenninghall Industrial Estates and the Harbor Road Industrial Area and environmental improvements along the length of Meridian Way and Mellison Avenue	Sharon Strutt	REGEN	CT0166	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	£219,474.09 Meridian Water Masterplan & CLAAP fees. Complete.	
IKEA Ltd	Land at Glover Drive N18 99/0866	Construction of two-storey non-food retail unit with ancillary uses, car parking, access works and landscaping together with employment development (R1, R2 and R8) all linked by a new spine road.	25.09.02	Upper Edmonton	Edmonton	1,035,850.00		1.03.12	Industrial Land Contribution for measures as the Council considers appropriate to encourage industrial regeneration along the Lea Valley Corridor within the borough of Enfield, including without limitation industrial regeneration of the Montagu and Kenninghall Industrial Estates and the Harbor Road Industrial Area and environmental improvements along the length of Meridian Way and Mellison Avenue	Alan Gardner	COMMUNITY SAFETY	CT0166	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	CCTV at Argon Road & Glover Drive - Complete - drawn down in March 2013	
IKEA Ltd	Land at Glover Drive N18 99/0866	Construction of two-storey non-food retail unit with ancillary uses, car parking, access works and landscaping together with employment development (R1, R2 and R8) all linked by a new spine road.	25.09.02	Upper Edmonton	Edmonton	1,035,850.00		1.03.12	Industrial Land Contribution for measures as the Council considers appropriate to encourage industrial regeneration along the Lea Valley Corridor within the borough of Enfield, including without limitation industrial regeneration of the Montagu and Kenninghall Industrial Estates and the Harbor Road Industrial Area and environmental improvements along the length of Meridian Way and Mellison Avenue	Alan Gardner	COMMUNITY SAFETY	CT0166	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	CCTV at the Eley Trading Estate Works. Complete	

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Commitment	Total financial obligation	Obligation Split	SPEND DEADLINE - BEU + Project Complete, BEU + 10% of total payments	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	CURRENT BALANCE Spilt - (include in year	SP RECEIPTS - (include in year	SP COMMITMENTS ON A CODES 14	SP COMMITMENTS ON A CODES	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance - After SAP Transactions	Other S106 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments	
BKEA Ltd	Land at Glover Drive N18 99/0866	Construction of two-storey non-food retail unit with ancillary uses, car parking, access works and landscaping together with employment development (B1, B2 and B8) all linked by a new spine road.	25.09.02	Upper Edmonton	Edmonton	1,035,650.00	150,000.00	NO DEADLINE	Sustainable transport plan To establish a sustainable Transport Plan approved by the Glover Drive Steering Group.	T&T			-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Although the financial obligation is outstanding, it has been mutually agreed that the position of both parties will be re-evaluated in the context of Meridian Water.	
BKEA Ltd	Land at Glover Drive N18 99/0866	Construction of two-storey non-food retail unit with ancillary uses, car parking, access works and landscaping together with employment development (B1, B2 and B8) all linked by a new spine road.	25.09.02	Upper Edmonton	Edmonton	1,035,650.00	45,000.00	NO DEADLINE	Town Centre Management Towards the cost of town centre management activities within the borough of Enfield.	Ama Loughlin	RED	CT0204	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Complete	
BKEA Ltd	Land at Glover Drive N18 99/0866	Construction of two-storey non-food retail unit with ancillary uses, car parking, access works and landscaping together with employment development (B1, B2 and B8) all linked by a new spine road.	25.09.02	Upper Edmonton	Edmonton	1,035,650.00	non monetary		Car Parking Management Strategy Signage Scheme		T&T		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Non Monetary Planning Obligations	
TOTAL						1,035,650.00	1,035,650.00						429,286.70	-	-	429,286.70	-	-	-	-	-	-	-	403,707.43	403,707.43	1,399.88	-	26,849.55	376,072.44	349,223.29	
Tecco Stores Ltd	Glover Drive N18 02/0790	Enlargement of existing store by extension to eastern and western elevations involving an increase of 2,439 square metres of retail and ancillary floor space involving reduction in car parking spaces together with other ancillary works.	24.05.04	Upper Edmonton	Edmonton	245,000.00	125,000.00	24.05.14	Public Transport Contribution Implementation of the Sustainable Transport Plan or other public transport improvements agreed with the Developer	Sharon Strutt/ Andrew Pugh	REGEN	CT0147	-	68,933.77	33,000.00	35,933.77	-	-	-	-	4,398.67	-	31,735.10	35,933.77	-	196.71	-	196.71	31,735.10	31,538.39	Balance committed to to help the Council develop the case for tracking of the Lee Valley Line to ensure that the scheme features in HED2 for delivery during 2014-15. These rail improvements are essential to the delivery of growth at Meridian Water and other locations in the Upper Lee Valley in line with the terms of the S106 agreement. Some expenditure has taken place in 13/14 for consultants fees for carrying out supportive work to make a case for rail enhancement. The remaining balance is expected to be drawn down in Quarter 1 for the further feasibility work carried out by consultants.
Tecco Stores Ltd	Glover Drive N18 02/0790	Enlargement of existing store by extension to eastern and western elevations involving an increase of 2,439 square metres of retail and ancillary floor space involving reduction in car parking spaces together with other ancillary works.	24.05.04	Upper Edmonton	Edmonton	245,000.00	120,000.00	25.05.09	Highway Improvements To fund traffic calming and traffic management works in the vicinity of the site, improvements to pedestrian and cycle links, landscaping improvements in the vicinity of the site.	Eddie Gomez	T&T	CT0148	-	18,637.39	-	18,637.39	-	-	-	-	9,384.93	5,140.43	4112.61	18,637.39	-	43.31	-	43.31	43.31	Improvements to cycle facilities, Harbet Road Towpath, Feasibility Study - Complete. Remaining balance allocated to improvements in vicinity of Angel Road Flyover to improve link with Towpath Scheme with Highway Services. Scheme has been designed and is with Highways for implementation by Summer 2015	
Tecco Stores Ltd	Glover Drive N18 02/0790	Enlargement of existing store by extension to eastern and western elevations involving an increase of 2,439 square metres of retail and ancillary floor space involving reduction in car parking spaces together with other ancillary works.	24.05.04	Upper Edmonton	Edmonton	245,000.00	-			Eddie Gomez			-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Tecco Stores Ltd	Glover Drive N18 02/0790	Enlargement of existing store by extension to eastern and western elevations involving an increase of 2,439 square metres of retail and ancillary floor space involving reduction in car parking spaces together with other ancillary works.	24.05.04	Upper Edmonton	Edmonton	245,000.00	-	25.05.09	TO OCCUPY THE REMAINING AMOUNT OF THE	David Taylor	T&T	CT0231	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	£311,286 Harbet Road Towpath - Complete.	
TOTAL						245,000.00	245,000.00						87,571.16	-	33,000.00	54,571.16	-	-	-	-	13,983.62	5,140.43	35,847.71	54,571.16	-	240.02	-	240.02	31,779.41	32,018.43	
Origin Housing Group and The Royal Bank of Scotland Plc	Watermill Lane, London N16 7P/09/1422	Construction of existing village and erection of a main residential units comprising 128 key worker units and 93 affordable units and 256 sqm. of office space, as well as 16 houses part 2/ 3 storey together with balconies, communal roof garden and terraces, the provision of car and cycle spaces, 2 pedestrian links to Adlington Close, amenity areas, single storey plant room to rear of block 4A and electricity sub-stations.	08.04.10 06.09.12 Da/V	Upper Edmonton	Edmonton	370,194.00	439,979.00	21.09.25	Education Contribution to provide educational facilities within the Borough.	Keith Rowley	EDU	CT0253	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	£49K Allocated to ECSL Primary School fund. Complete	
Origin Housing Group and The Royal Bank of Scotland Plc	Watermill Lane, London N16 7P/09/1422	Demolition of existing buildings and erection of a total of 221 residential units comprising 128 key worker units and 93 affordable units and 256 sqm. of office space, as well as 16 houses part 2/ 3 storey together with balconies, communal roof garden and terraces, the provision of car and cycle spaces, 2 pedestrian links to Adlington Close, amenity areas, single storey plant room to rear of block 4A and electricity sub-stations.	08.04.10 06.09.12 Da/V	Upper Edmonton	Edmonton	370,194.00	95,204.00	21.09.25	Highways Contribution towards highways, footpaths and cycle paths improvements.	Jonathan Goodson	T&T	CT0254	-	42,701.51	-	42,701.51	-	-	-	-	1,107.78	-	2,459.19	3,566.97	-	147.48	-	39,282.02	5,000.00	34,282.02	£9K allocated to access improvements at Silver Street Station - complete. £3K recently allocated towards a feasibility study for a pedestrian/cycle route for implementation of a shared use facility in the local area for which work is complete. Any remaining balance to be allocated to the Cycle Enfield (formerly mini hollard) project.
Origin Housing Group and The Royal Bank of Scotland Plc	Watermill Lane, London N16 7P/09/1422	Construction of existing village and erection of a main residential units comprising 128 key worker units and 93 affordable units and 256 sqm. of office space, as well as 16 houses part 2/ 3 storey together with balconies, communal roof garden and terraces, the provision of car and cycle spaces, 2 pedestrian links to Adlington Close, amenity areas, single storey plant room to rear of block 4A and electricity sub-stations.	08.04.10 06.09.12 Da/V	Upper Edmonton	Edmonton	370,194.00	30,000.00	21.09.25	Pymmes Park Contribution To provide improvements in Pymmes Park	Matthew Wats	PARKS	CT0255	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Pymmes Park Improvements Complete	
Origin Housing Group and The Royal Bank of Scotland Plc	Watermill Lane, London N16 7P/09/1422	Construction of existing village and erection of a main residential units comprising 128 key worker units and 93 affordable units and 256 sqm. of office space, as well as 16 houses part 2/ 3 storey together with balconies, communal roof garden and terraces, the provision of car and cycle spaces, 2 pedestrian links to Adlington Close, amenity areas, single storey plant room to rear of block 4A and electricity sub-stations.	08.04.10 06.09.12 Da/V	Upper Edmonton	Edmonton	370,194.00	5,011.00	NO DEADLINE	Supervision Fee	Jo Woodward	STRATEGIC PLANNING	CT0256	-	0.00	-	0.00	-	-	-	-	-	-	-	-	-	-	0.00	-	0.00	Moved to S106 Management Fee CT0303	
Origin Housing Group and The Royal Bank of Scotland Plc	Watermill Lane, London N16 7P/09/1422	Demolition of existing buildings and erection of a total of 221 residential units comprising 128 key worker units and 93 affordable units and 256 sqm. of office space, as well as 16 houses part 2/ 3 storey together with balconies, communal roof garden and terraces, the provision of car and cycle spaces, 2 pedestrian links to Adlington Close, amenity areas, single storey plant room to rear of block 4A and electricity sub-stations.	08.04.10 06.09.12 Da/V	Upper Edmonton	Edmonton	370,194.00	non monetary		Employment & Training package a proposal for providing employment and training opportunities as part of the construction and operation of the scheme for local persons residing within the Borough. Affordable Housing Travel Plan				-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
TOTAL						370,194.00	370,194.00						42,701.51	-	-	42,701.51	-	-	-	-	1,107.78	-	2,459.19	3,566.97	-	147.48	-	39,282.02	5,000.00	34,282.02	

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Consultancy	Total financial obligation	Obligation Split	SPEND DEADLINE - BILU + Project Complete, RED + for all other 24 months	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	CURRENT BALANCE Split - (include in year	FOR WORK DONE ON A CODES 14	COMMITMENTS ON A CODES 14	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance - After SAP Transactions	Other S186 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments	
North Middx University Hospital	North Middx University Hospital, Stirling way N18 TP/02/0785	Demolition, refurbishment, alteration and extension of existing building together with new development for healthcare purposes including a canteen, library, offices, clinics, consulting rooms and training centre. Provision of new infrastructure, including car parking for 698 vehicles, internal estate roads and landscaping together with identification of 1.95 hectares of land for residential purposes.	22.04.03	Upper Edmonton	Edmonton	174,000.00	18,000.00	24.07.12	for consultation and investigation with regard to the feasibility of bringing into effect a Controlled Parking Zone within the existing streets in the vicinity of North Middlesex University Hospital.	David Taylor	T&T	CT0212	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	£20,275.71 CPZ Works - Complete.	
North Middx University Hospital	North Middx University Hospital, Stirling way N18 TP/02/0785	Demolition, refurbishment, alteration and extension of existing building together with new development for healthcare purposes including a canteen, library, offices, clinics, consulting rooms and training centre. Provision of new infrastructure, including car parking for 698 vehicles, internal estate roads and landscaping together with identification of 1.95 hectares of land for residential purposes.	22.04.03	Upper Edmonton	Edmonton	174,000.00	30,000.00	24.07.12	On request of Council																				Second phase CPZ payment is being pursued.	
North Middx University Hospital	North Middx University Hospital, Stirling way N18 TP/02/0785	Demolition, refurbishment, alteration and extension of existing building together with new development for healthcare purposes including a canteen, library, offices, clinics, consulting rooms and training centre. Provision of new infrastructure, including car parking for 698 vehicles, internal estate roads and landscaping together with identification of 1.95 hectares of land for residential purposes.	22.04.03	Upper Edmonton	Edmonton	174,000.00	45,000.00	24.07.12	Road Contribution for provision of a controlled pedestrian crossing in the vicinity of the junction of Bull Lane and Ridgeway Road	Liam Mulcahey	T&T	CT0213	-	19,415.88	-	19,415.88	-	-	-	19,414.28	-	19,414.28	-	51.21	52.81	0.00	1.60	1.60	Zebra Crossing in Bull Lane - COMPLETE. D10k committed to Stage 3 Safety Audit of zebra crossing in Bull Lane and associated remedial works - Complete.	
North Middx University Hospital	North Middx University Hospital, Stirling way N18 TP/02/0785	Demolition, refurbishment, alteration and extension of existing building together with new development for healthcare purposes including a canteen, library, offices, clinics, consulting rooms and training centre. Provision of new infrastructure, including car parking for 698 vehicles, internal estate roads and landscaping together with identification of 1.95 hectares of land for residential purposes.	22.04.03	Upper Edmonton	Edmonton	174,000.00	61,000.00		Education Contribution intended to be expended by the Council upon the provision of school places within its area	Keith Rowley	EDU		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Monies not yet received - Payment due prior to occupation of residential units.	
North Middx University Hospital	North Middx University Hospital, Stirling way N18 TP/02/0785	Demolition, refurbishment, alteration and extension of existing building together with new development for healthcare purposes including a canteen, library, offices, clinics, consulting rooms and training centre. Provision of new infrastructure, including car parking for 698 vehicles, internal estate roads and landscaping together with identification of 1.95 hectares of land for residential purposes.	22.04.03	Upper Edmonton	Edmonton	174,000.00	15,000.00	24.07.12	Funding for pedestrian improvements to be used for the provision of measures on the highway to improve conditions for pedestrians between the land and Fore Street	Liam Mulcahey	T&T	CT0214	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Pedestrian Improvements included in the Silver Street Access Scheme linked to C10254. Complete.	
North Middx University Hospital	North Middx University Hospital, Stirling way N18 TP/02/0785	Demolition, refurbishment, alteration and extension of existing building together with new development for healthcare purposes including a canteen, library, offices, clinics, consulting rooms and training centre. Provision of new infrastructure, including car parking for 698 vehicles, internal estate roads and landscaping together with identification of 1.95 hectares of land for residential purposes.	22.04.03	Upper Edmonton	Edmonton	174,000.00	nom monetary		Green Transport Plan Affordable Housing (H Units)		T&T		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
TOTAL						174,000.00	174,000.00					-	19,415.88	-	-	19,415.88	-	-	-	-	19,414.28	-	19,414.28	-	51.21	52.81	0.00	1.60	1.60	
Kennet Properties Ltd	Part of Deepthams Sewage works Picketts Lock Lane N18 9U/0244	Redevelopment of site for B1, B2, B9 uses and/or uses for waste reduction, recycling, processing, re-processing and a Depot for parking and maintenance of cleaning/waste disposal vehicles, ancillary offices and other support services. (Outline)	02.06.00	Lower Edmonton	Edmonton	200,000.00	200,000.00	NO DEADLINE	Contribution towards regeneration issues at Innova Park For the purpose of assisting companies locating to and expanding within Phase 1 of the London Science Park at Innova Park	Aruna Loughlin	RED	CT0227	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C228,423 used towards Enfield Innovators Award Scheme Complete & remaining balance moved to contingency	
GR Consortium Ltd	2 St Joseph's Rd NW88X TP/03/2327	Demolition of part of existing building, and redevelopment of site to construct a part two-story, part three-story, new Primary Health Care Centre, incorporating a pharmacy and associated car parking.	24.04.04	Lower Edmonton	Edmonton	25,000.00	25,000.00	NO DEADLINE	Mitigating Impact on street parking contribution towards the cost of mitigating the impact of on street parking	Rachel Buck	T&T	CT0164	-	25,079.34	-	25,079.34	-	-	-	-	-	-	-	88.20	-	25,166.54	25,079.34	88.20	Originally allocated to mitigate on street parking at St Josephs Road. Being revised due to impact on trees and insufficient monies available to increase additional parking. Officers are working with Health Centre to reduce parking and develop a travel plan with staff to explore sustainable travel options.	

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Commitment	Total financial obligation	Obligation Split	SPEND DEADLINE - RE:14 - Permit Complete, RE:15 - Full Completion	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT %	CURRENT BALANCE Split - includes in year	SPEND RECEIPTS - includes in year ON A CODES 14	SPEND COMMITMENTS - includes in year ON A CODES	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance - After SAP Transactions	Other S100 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments						
Brixton plc	Great Cambridge Industrial estate, Lincoln Rd EN1 0Y/0Y7	Demolition of existing buildings and erection of three blocks of 16 units for B1 (b), B2 and/or B9 uses (business, general industrial and/or storage (distribution uses) (total of 892 sqm)) with associated car, lorry and cycle parking.	16.01.04	Jubilee	Edmonton	214,625.00	3,000.00	NO DEADLINE	Highway Contribution for improvements within the vicinity of the land	Liam Mulrooney	T&T	CT0239	-	3,211.54	-	3,211.54	-	-	-	-	-	382.41	-	382.41	-	10.95	-	2,840.08	2,829.13	-	10.95	Traffic Management measures in Lincoln Road - Complete. T&T Considering utilising remaining monies towards Greenway zone, the timing for implementation is dependent on TfL. Greenway works scheduled for 2015/16			
Brixton plc	Great Cambridge Industrial estate, Lincoln Rd EN1 0Y/0Y7	Demolition of existing buildings and erection of three blocks of 16 units for B1 (b), B2 and/or B9 uses (business, general industrial and/or storage (distribution uses) (total of 892 sqm)) with associated car, lorry and cycle parking.	16.01.04	Jubilee	Edmonton	214,625.00	96,625.00	NO DEADLINE	Works to Progress Way	N/A	T&T		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Transferred to TfL to carry out works - Complete			
Brixton plc	Great Cambridge Industrial estate, Lincoln Rd EN1 0Y/0Y7	Demolition of existing buildings and erection of three blocks of 16 units for B1 (b), B2 and/or B9 uses (business, general industrial and/or storage (distribution uses) (total of 892 sqm)) with associated car, lorry and cycle parking.	16.01.04	Jubilee	Edmonton	214,625.00	135,000.00	NO DEADLINE	Traffic Management Measures in Lincoln Road	N/A	T&T		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Transferred to TfL to carry out works - Complete			
Brixton plc	Great Cambridge Industrial estate, Lincoln Rd EN1 0Y/0Y7	Demolition of existing buildings and erection of three blocks of 16 units for B1 (b), B2 and/or B9 uses (business, general industrial and/or storage (distribution uses) (total of 892 sqm)) with associated car, lorry and cycle parking.	16.01.04	Jubilee	Edmonton	214,625.00	-	NO DEADLINE	Green Travel Plan	Safia Ibbid/Rachel Buck	T&T		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-			
TOTAL						214,625.00	214,625.00						-	3,211.54	-	3,211.54	-	-	-	-	-	382.41	-	382.41	-	10.95	-	2,840.08	2,829.13	-	10.95				
Edmonton Islamic Centre Almajid	TP/05/0629 20-34 Raysham Road N18	Change of use of 2-storey offices and single storey factory to a mosque, and change of use of 4-storey factory to an education and community centre, together with the provision of 20-car parking spaces.	28.05.08	Upper Edmonton	Edmonton	7,000.00	2,000.00	NO DEADLINE	Works to site access in Wakefield Street	Liam Mulrooney	T&T	CT0193	-	1,996.01	-	1,996.01	-	-	1,375.00	-	-	-	-	1,375.00	-	1.32	22.33	-	0.00	-	21.01	21.01	Remaining monies to be used for waiting restrictions at Cross Street programmed for this year 14/15. Complete.		
	TP/05/0629 20-34 Raysham Road N18		28.05.08	Upper Edmonton	Edmonton	7,000.00	5,000.00	NO DEADLINE	Works on revised waiting restrictions	Liam Mulrooney	T&T	CT0194	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Works for revised waiting restrictions on Raysham Road - Complete.		
TOTAL						7,000.00	7,000.00						-	1,996.01	-	1,996.01	-	-	1,375.00	-	-	-	1,375.00	-	1.32	22.33	-	0.00	-	21.01	21.01				
Genesis Housing Association	289-291 Fore Street TP/09/0803	Redevelopment of site by the erection of 25 residential units in a part 4, part 5-storey block (4 x 3 bed, 17 x 2 bed, 4 x 1 bed), incorporating 50 units of affordable housing with balconies to front and rear, roof terrace, landscaping, cycle and car parking and associated access to Fore Street.	07.08.08	Edmonton Green	Edmonton	75,992.00	30,000.00	28.10.21	Conservation Area Enhancements to undertake public realm improvements in the vicinity to address tree planting, street furniture, renewal, de-cluttering, sign rationalisation, footway resurfacing, enhancement and access improvements (Condition 20 of the planning permission)	Christine White	HERITAGE & CONSERV	CT0291	-	31,372.79	-	31,372.79	-	-	-	-	-	-	-	-	-	110.28	-	31,483.07	-	-	31,483.07	-	-	31,483.07	Public realm improvement scheme at Monmouth Road now at planning stage. Will complement recompletion of The Crescent Regent & Environment scheme
Genesis Housing Association	289-291 Fore Street TP/09/0803	Redevelopment of site by the erection of 25 residential units in a part 4, part 5-storey block (4 x 3 bed, 17 x 2 bed, 4 x 1 bed), incorporating 50 units of affordable housing with balconies to front and rear, roof terrace, landscaping, cycle and car parking and associated access to Fore Street.	07.08.08	Edmonton Green	Edmonton	75,992.00	45,992.00	28.10.21	Education Contribution to provide educational facilities within the borough.	Keith Rowley	EDU	CT0292	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Allocated to Primary Capital Programme - Complete.		
TOTAL						75,992.00	75,992.00						-	31,372.79	-	31,372.79	-	-	-	-	-	-	-	-	-	110.28	-	31,483.07	-	-	31,483.07	-	-	31,483.07	
Farmits Concrete Ltd & NatWest	6 Morson Road (aka Units 2-7 Riverside Industrial Estate) EN3 4NQ TP/10/1802	Change of use to concrete batching plant involving demolition of existing buildings and erection of a single storey detached workshop and office / staff block, associated machinery, cycle store, vegetated buffer strip with cycle path and provision of 7 car parking bays (OPTICON 3)	10.11.11	Jubilee	Edmonton	21,330.00	20,000.00	20.01.16	Columbia Wharf Contribution towards the enhancement of aquatic and bank habitats at Columbia Wharf	Sharon Strutt	REGEN	CT0293	-	20,220.77	-	20,220.77	-	-	-	-	-	-	-	-	-	71.16	-	20,291.93	-	-	20,291.93	-	-	Project proposal has been drafted with Columbia wharf working group to deliver Phase 1 of the south water meadows project expected to progress in 15/16	
Farmits Concrete Ltd & NatWest	6 Morson Road (aka Units 2-7 Riverside Industrial Estate) EN3 4NQ TP/10/1802	Change of use to concrete batching plant involving demolition of existing buildings and erection of a single storey detached workshop and office / staff block, associated machinery, cycle store, vegetated buffer strip with cycle path and provision of 7 car parking bays (OPTICON 3)	10.11.11	Jubilee	Edmonton	21,330.00	1,330.00	NO DEADLINE	S106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Please see Management Fee Tab		
Farmits Concrete Ltd & NatWest	6 Morson Road (aka Units 2-7 Riverside Industrial Estate) EN3 4NQ TP/10/1802	Change of use to concrete batching plant involving demolition of existing buildings and erection of a single storey detached workshop and office / staff block, associated machinery, cycle store, vegetated buffer strip with cycle path and provision of 7 car parking bays (OPTICON 3)	10.11.11	Jubilee	Edmonton	21,330.00	non monetary		Cycle path Landscaping scheme Blue Walkway Programme of maintenance				-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Non Monetary Planning Obligations			
TOTAL						21,330.00	21,330.00						-	20,220.77	-	20,220.77	-	-	-	-	-	-	-	-	-	71.16	-	20,291.93	-	-	20,291.93	-	-	20,291.93	
IRIAN OSMAN/ HAKKI & LINDA HAKKI	1a Towpath Road N18 3 QX TP/11/0907	Erection of a 2-storey warehouse building to provide 3532sqm of industrial floorpace.	21.03.12	Upper Edmonton	Edmonton	11,299.00	11,299.00	29.03.27	Carbon Dioxide Emissions towards the delivery of carbon dioxide emissions savings elsewhere within the borough required as a consequence of the development (details on S106)	Rob Singleton	Development Management	CT0305	Please see carbon fund attachment	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Lead officer is considering local sustainability projects to apply monies towards, in line with Enfield 2020	
IRIAN OSMAN/ HAKKI & LINDA HAKKI	1a Towpath Road N18 3 QX TP/11/0907	Erection of a 2-storey warehouse building to provide 3532sqm of industrial floorpace.	21.03.12	Upper Edmonton	Edmonton	564.55	564.55		S106 Management Fee	Jo Woodward		CT0303	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	See Management Fee Tab		
TOTAL						11,863.55	11,863.55						-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-			

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Consistency	Total financial obligation	Obligation Split	SPEND DEADLINE - R119 - Project Complete, R120 - In Financial Plan	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	CURRENT BALANCE Split - includes in year	SPEND RECEIPTS - For Work Done ON A CODES 14	SPEND COMMITMENTS ON A CODES	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance - After SAP Transactions	Other S100 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments		
St Madwens	Unit 3 -11, 13 - 23 North Sq, Edmonton Green Shopping Centre: TP/11/1341	Part demolition of ground floor and amalgamation of existing ground floor retail units nos. 3-11 North Square together with a part single, part 2-storey extension facing Herford Road to provide one overall retail unit (A1) comprising a total floorpace	22.02.12	Edmonton Green	Edmonton	45,000.00	40,000.00	NO DEADLINE	Carbon Dioxide Emissions towards the delivery of carbon dioxide emissions savings elsewhere within the borough required as a consequence of the development (details on S100).	Rob Singleton	Development Management	CT0305																	Lead officer is considering local sustainability projects to apply monies towards, in line with Enfield 2020		
St Madwens	Unit 3 -11, 13 - 23 North Sq, Edmonton Green Shopping Centre: TP/11/1341	Part demolition of ground floor and amalgamation of existing ground floor retail units nos. 3-11 North Square together with a part single, part 2-storey extension facing Herford Road to provide one overall retail unit (A1) comprising a total floorpace	22.02.12	Edmonton Green	Edmonton	45,000.00	5,000.00	NO DEADLINE	Street Tree Contribution towards the provision of street trees within the vicinity of the land required as a consequence of development	Andy Robinson	T&T	CT0318	5,000.00			5,000.00								17.7%	5,054.66	5,000.00	17.7%	Allocated towards planting of street trees within the vicinity of the development			
St Madwens	Unit 3 -11, 13 - 23 North Sq, Edmonton Green Shopping Centre: TP/11/1341	Part demolition of ground floor and amalgamation of existing ground floor retail units nos. 3-11 North Square together with a part single, part 2-storey extension facing Herford Road to provide one overall retail unit (A1) comprising a total floorpace	22.02.12	Edmonton Green	Edmonton		non monetary		Shop Unit Strategy demonstrating how training opportunities and local employment for residents will be provided in the Shop Unit Construction Employment Strategy demonstrating how training opportunities and local employment for residents will be provided during construction	Anna Loughlin																			These obligations have been fulfilled and are discharged.		
TOTAL						45,000.00	45,000.00						5,000.00			5,000.00								17.7%	5,054.66	5,000.00	17.7%				
Cockton Hall Academics Trust	Woodpecker Hall Primary Academy Nightingale Rd, N9 8RR TP/11/0925	Redevelopment of site by the erection of a single storey, 2 form entry primary school with associated hard and soft external play areas and car parking.	06.01.12	Jubilee	Edmonton			01.11.17	CCTV to provide CCTV coverage of the boundary of the scheme including, Nightingale Rd	Alan Gardner	COMMUNITY SAFETY	CT0325	30,000.00			90,162.86													Payment recently received. Lead officer has been notified and projects are being worked up.		
Cockton Hall Academics Trust	Woodpecker Hall Primary Academy Nightingale Rd, N9 8RR TP/11/0926	Redevelopment of site by the erection of a single storey, 2 form entry primary school with associated hard and soft external play areas and car parking.	06.01.12	Jubilee	Edmonton			01.11.17	Traffic Calming to provide the installation of traffic calming measures to include raised zebra crossings, speed bumps and traffic tables	Liam Mulrooney	T&T	CT0327	57,662.86					56,228.31	56,228.31							33,914.25	40,276.01		CT0K allocated to traffic calming works in Nightingale Road. Works have commenced and are to be delivered within 14/15. WORKS COMPLETE		
Cockton Hall Academics Trust	Woodpecker Hall Primary Academy Nightingale Rd, N9 8RR TP/11/0927	Redevelopment of site by the erection of a single storey, 2 form entry primary school with associated hard and soft external play areas and car parking.	06.01.12	Jubilee	Edmonton	106,200.00		01.11.17	Travel Plan + Fee	Safa Idris/Rachel Buck	T&T																	Balance used towards funding the travel plan monitoring post in 13/14.			
Cockton Hall Academics Trust	Woodpecker Hall Primary Academy Nightingale Rd, N9 8RR TP/11/0928	Redevelopment of site by the erection of a single storey, 2 form entry primary school with associated hard and soft external play areas and car parking.	06.01.12	Jubilee	Edmonton			01.11.17	S100 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303																Please see management for tab			
Cockton Hall Academics Trust	Woodpecker Hall Primary Academy Nightingale Rd, N9 8RR TP/11/0929	Redevelopment of site by the erection of a single storey, 2 form entry primary school with associated hard and soft external play areas and car parking.	06.01.12	Jubilee	Edmonton			01.11.17	Waiting Restrictions to provide for revision of waiting restrictions in the vicinity including, keep clear markings, double yellow lines and zig zag. Written Submission for Phased Development	Liam Mulrooney	T&T	CT0325	2,500.00												300.56	300.56	3,000.00	42,523 recently allocated to waiting restrictions and works are progressing to be completed in 15/16.			
TOTAL						106,200.00	106,200.00						90,162.86			90,162.86										34,235.11	43,276.01	9,060.90			
Grandraks Limited	54-56 Elm Park Road, N21 7YJ/05/2277	Demolition of existing garages and erection of two 2-storey semi detached houses.	27.06.07	Bush Hill Park	Edmonton	2,720.00	2,720.00	NO DEADLINE	Highways Contribution towards widening of the footway	Mick Pond	T&T	CT0211	3,004.23			3,004.23												10.56	3,014.79	3,004.23	10.56 Allocated to Footway Works in Elm Lane to include widening of footway. Works are to take place post implementation of scheme, still waiting for scheme to be implemented. Project is scheduled for completion 15/16.
Dhry Chicken Co-op	185A Town Road, London N9 0HL, P13-084/WPLA	Conversion of first floor into a self-contained 2 bedroom flat (RETROFLECTIVE).	16.04.13	Lower Edmonton	Edmonton	1,158.00	1,158.00	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	Development & Estates Renewal Council Homes	CT0304																	A DAR was signed 25.7.14 to commit full £1.6m balance at end of 2013/14 towards the provision of additional affordable housing units on the New Avenue Estate Renewal project located in Southgate N14. The Council has now procured a development partner, and a planning application is anticipated to be submitted in Dec 15		
Dhry Chicken Co-op	185A Town Road, London N9 0HL, P13-084/WPLA	Conversion of first floor into a self-contained 2 bedroom flat (RETROFLECTIVE).	16.04.13	Lower Edmonton	Edmonton	1,856.00	1,856.00	NO DEADLINE	Education to provide additional educational facilities within the Borough required as a consequence of development	Keith Rowley	EDU	CT0337																Balance spent on works at Prince of Wales school - Complete			
TOTAL						13,014.00	13,014.00						3,004.23			3,004.23												3,014.79	3,004.23		

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Commitment	Total financial obligation	Obligation Split	SPEND DEADLINE (if it is a funding requirement)	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	COMMITMENT BALANCE (includes in year)	COMMITMENT BALANCE (ON A CODES 14-16)	COMMITMENT BALANCE (ON A CODES 5 ON A CODES)	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance After SAsP Transactions	Other S106 Commitments (not yet on SAsP - SM)	Available Uncommitted Amount - SM	Comments									
Shabar Alibhai	23 Church Street, London N9 9DY P12-02361FLA	Conversion of hotel into 4 self contained flats comprising 1 x 2 bed, 1 x 1 bed and 2 x studio flats involving rear dormer.	28.11.12	Hawbury	Southgate	2,459.97	2,459.97	NO DEADLINE	Education to provide additional primary educational facilities within the Borough required as a consequence of development.	Keith Rowley	EDU	CT038																	Payments have been allocated and spent on the Primary Schools Expansion scheme - complete.									
Shabar Alibhai	23 Church Street, London N9 9DY P12-02361FLA	Conversion of hotel into 4 self contained flats comprising 1 x 2 bed, 1 x 1 bed and 2 x studio flats involving rear dormer.	28.11.12	Hawbury	Southgate	2,459.97	2,459.97	NO DEADLINE	S106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN																											
	TOTAL																																					
North Middx University Hospital Trust SOLD to Newham Housing Association	Reiler House Watermill Lane London N18 1SA TP/11/0905	Redevelopment of site to provide 81 residential units (OUTLINE All matters reserved).	16.12.11 Dev/23.07.13	Edmonton	Edmonton	292,800.00	9,000.00	Within 10 years of the receipt of payment (2024)	Employment and Training Strategy + Fee in connection with the Scheme (Schedule 2 of the S106).	Anna Loughlin	RED	CT064	-	9,006.15	-	-	9,006.15	-	-	-	-	-	-	-	31.68	-	9,037.83	9,006.15	31.68	Payment recently received and allocated to relevant department to consider projects.								
North Middx University Hospital Trust SOLD to Newham Housing Association	Reiler House Watermill Lane London N18 1SA TP/11/0905	Redevelopment of site to provide 81 residential units (OUTLINE All matters reserved).	16.12.11 Dev/23.07.13	Edmonton	Edmonton	292,800.00	9,000.00	Within 10 years of the receipt of payment (2024)	Employment and Training Strategy + Fee in connection with the Scheme (Schedule 2 of the S106).	Anna Loughlin	RED	CT064	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	To be paid on occupation									
North Middx University Hospital Trust SOLD to Newham Housing Association	Reiler House Watermill Lane London N18 1SA TP/11/0905	Redevelopment of site to provide 81 residential units (OUTLINE All matters reserved).	16.12.11 Dev/23.07.13	Edmonton	Edmonton	292,800.00	186,000.00	Within 10 years of the receipt of payment (2024)	Education to provide additional educational facilities in Enfield.	Keith Rowley	EDU	CT038	-	0.00	-	-	0.00	-	-	-	-	-	-	-	-	-	-	0.00	Allocated to works at St Matthews Church of England School. Balance drawn down in 15/14.									
North Middx University Hospital Trust SOLD to Newham Housing Association	Reiler House Watermill Lane London N18 1SA TP/11/0905	Redevelopment of site to provide 81 residential units (OUTLINE All matters reserved).	16.12.11 Dev/23.07.13	Edmonton	Edmonton	292,800.00	50,000.00	Within 10 years of the receipt of payment (2024)	Off site Highways Works Contribution towards improvements to highways, footpaths & cycle paths.	Liam Mulrooney	T&T	CT039	-	50,034.17	-	-	50,034.17	-	-	-	-	-	-	-	-	-	50,210.09	50,210.09	Balance to be potentially allocated to mini bundard scheme and completed in 15/16. WORKS TO START 15/16									
North Middx University Hospital Trust SOLD to Newham Housing Association	Reiler House Watermill Lane London N18 1SA TP/11/0905	Redevelopment of site to provide 81 residential units (OUTLINE All matters reserved).	16.12.11 Dev/23.07.13	Edmonton	Edmonton	292,800.00	5,000.00	Within 10 years of the receipt of payment (2024)	Supervision of Highways Works to monitor impact of the FVW will have on existing highway structures (incl. Bull Lane).	Dominic Milnes	T&T		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	To be paid on occupation									
North Middx University Hospital Trust SOLD to Newham Housing Association	Reiler House Watermill Lane London N18 1SA TP/11/0905	Redevelopment of site to provide 81 residential units (OUTLINE All matters reserved).	16.12.11 Dev/23.07.13	Edmonton	Edmonton	292,800.00	20,000.00	Within 10 years of the receipt of payment (2024)	Open Space Contribution to monitor impact of the FVW will have on existing highway structures (incl. Bull Lane).	Matthew Wats	PARKS	CT060	-	20,013.67	-	-	20,013.67	-	-	-	-	-	-	-	-	-	-	-	20,084.11	Payment recently received and allocated to relevant department to consider projects.								
North Middx University Hospital Trust SOLD to Newham Housing Association	Reiler House Watermill Lane London N18 1SA TP/11/0905	Redevelopment of site to provide 81 residential units (OUTLINE All matters reserved).	16.12.11 Dev/23.07.13	Edmonton	Edmonton	292,800.00		Within 10 years of the receipt of payment (2024)	Travel Plan	Safia Ishay/Rachel Buck	T&T		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Non Monetary Planning Obligations									
North Middx University Hospital Trust SOLD to Newham Housing Association	Reiler House Watermill Lane London N18 1SA TP/11/0905	Redevelopment of site to provide 81 residential units (OUTLINE All matters reserved).	16.12.11 Dev/23.07.13	Edmonton	Edmonton	292,800.00	13,850.00	Within 10 years of the receipt of payment (2024)	S106 Management Fee	Jeanne Woodward	STRATEGIC PLANNING AND DESIGN	CT065	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	PAID - CT065									
	TOTAL					292,800.00	292,800.00						-	79,053.96	-	-	79,053.96	-	-	-	-	-	-	-	-	-	279.04	-	79,332.02	9,006.15	79,332.02							
Country Side Properties UK & LBE	Highland Estate at Farn St P12-02461FLA	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorpace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3 bed maisonettes, 45 x 1 bed, 33 x 2 bed and 17 x 3 bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4 bed townhouses with balcony at second floor and 1 x 2 bed studio family).	20.03.13	Upper Edmonton	Edmonton	395,048.66	50,000.00	Within 10 years of the receipt of payment	Community Facilities Contribution for the provision of a community space to shell and core	Peter George	RED		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Payment due on occupation of residential units. Developer to be contacted for update								
Country Side Properties UK & LBE	Highland Estate at Farn St P12-02461FLA	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorpace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3 bed maisonettes, 45 x 1 bed, 33 x 2 bed and 17 x 3 bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4 bed townhouses with balcony at second floor and 1 x 2 bed studio family).	20.03.13	Upper Edmonton	Edmonton	395,048.66	118,214.00	Within 10 years of the receipt of payment	Education Contribution towards educational facilities required as a consequence	Keith Rowley	EDU	CT033	-	0.00	-	-	0.00	-	-	-	-	-	-	-	-	-	-	-	0.00	Works allocated to St Matthews Church of England School. Balance drawn down in 15/14.								
Country Side Properties UK & LBE	Highland Estate at Farn St P12-02461FLA	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorpace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3 bed maisonettes, 45 x 1 bed, 33 x 2 bed and 17 x 3 bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4 bed townhouses with balcony at second floor and 1 x 2 bed studio family).	20.03.13	Upper Edmonton	Edmonton	395,048.66	10,000.00	Within 10 years of the receipt of payment	Employment and Training Strategy and Fee towards monitoring the Employment Training Strategy by the Council	Anna Loughlin	RED	CT035	-	10,098.59	-	-	10,098.59	-	-	-	-	-	-	-	-	-	-	-	-	35.52	Payment recently received and allocated to relevant department.							
Country Side Properties UK & LBE	Highland Estate at Farn St P12-02461FLA	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorpace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3 bed maisonettes, 45 x 1 bed, 33 x 2 bed and 17 x 3 bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4 bed townhouses with balcony at second floor and 1 x 2 bed studio family).	20.03.13	Upper Edmonton	Edmonton	395,048.66	9,000.00	Within 10 years of the receipt of payment	Jobnet contribution towards Jobnet Team to provide job brokering service to tenants of commercial units for 3 years	Anna Loughlin	RED		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Payment due on occupation of commercial units.								
Country Side Properties UK & LBE	Highland Estate at Farn St P12-02461FLA	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorpace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3 bed maisonettes, 45 x 1 bed, 33 x 2 bed and 17 x 3 bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4 bed townhouses with balcony at second floor and 1 x 2 bed studio family).	20.03.13	Upper Edmonton	Edmonton	395,048.66	50,000.00	Within 10 years of the receipt of payment	Open Space towards improvements and maintenance of 50 Jobs Open Space	Matthew Wats	PARKS	CT056	-	50,492.98	-	-	50,492.98	-	-	-	-	-	-	-	-	-	-	-	-	50,670.58	Payment recently received and allocated to relevant department to consider projects. Correspondence with developer underway looking to confirm that open space referred to by the original 108 is St James' and not St John's							
Country Side Properties UK & LBE	Highland Estate at Farn St P12-02461FLA	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorpace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3 bed maisonettes, 45 x 1 bed, 33 x 2 bed and 17 x 3 bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4 bed townhouses with balcony at second floor and 1 x 2 bed studio family).	20.03.13	Upper Edmonton	Edmonton	395,048.66	30,000.00	Within 10 years of the receipt of payment	Public Art Contribution towards the provision of public art within 200m of the boundaries of the Upper Edmonton District Centre	TBC	CULTURAL SERVICES	CT037	-	30,285.79	-	-	30,285.79	-	-	-	-	-	-	-	-	-	-	-	-	30,402.55	Payment recently received and allocated to relevant department to consider projects.							
Country Side Properties UK & LBE	Highland Estate at Farn St P12-02461FLA	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorpace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3 bed maisonettes, 45 x 1 bed, 33 x 2 bed and 17 x 3 bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4 bed townhouses with balcony at second floor and 1 x 2 bed studio family).	20.03.13	Upper Edmonton	Edmonton	395,048.66	103,673.66	Within 10 years of the receipt of payment (Dec 2013)	HIGHWAYS	David Taylor	T&T	CT054	-	79,228.07	-	-	79,228.07	-	-	1,606.19	1,400.83	115.04	-	-	-	-	-	-	-	3,171.86	274.44	Balance fully allocated to Highways works in and around Highland Estate as listed in the S106 Agreement. Works underway to be completed in 15/16.						
Country Side Properties UK & LBE	Highland Estate at Farn St P12-02461FLA	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorpace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3 bed maisonettes, 45 x 1 bed, 33 x 2 bed and 17 x 3 bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4 bed townhouses with balcony at second floor and 1 x 2 bed studio family).	20.03.13	Upper Edmonton	Edmonton	395,048.66	10,000.00	Within 10 years of the receipt of payment (Dec 2013)	Car Club Contribution payable to Zpac, to enable Zpac to help provide a Car Club for the benefit of Residents and non-Residents.	Anna Jakacka	T&T	CT040	-	12,150.00	-	-	12,150.00	-	-	-	-	-	-	-	-	-	-	-	-	-	3.56	Non Monetary Planning Obligations Invoice for Car Club contribution (22.08/2010-10/15) sent to Malibu 25/Jan/14/26/09/14. PAID: 13 MARCH 2015, money for transfer to Zpac						
Country Side Properties UK & LBE	Highland Estate at Farn St P12-02461FLA	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorpace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3 bed maisonettes, 45 x 1 bed, 33 x 2 bed and 17 x 3 bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4 bed townhouses with balcony at second floor and 1 x 2 bed studio family).	20.03.13	Upper Edmonton	Edmonton	395,048.66		Within 10 years of the receipt of payment	Travel Plan Affordable Housing (24 units) Community Housing System	Safia Ishay/Rachel Buck	T&T		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-								
Country Side Properties UK & LBE	Highland Estate at Farn St P12-02461FLA	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorpace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3 bed maisonettes, 45 x 1 bed, 33 x 2 bed and 17 x 3 bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4 bed townhouses with balcony at second floor and 1 x 2 bed studio family).	20.03.13	Upper Edmonton	Edmonton	395,048.66		Within 10 years of the receipt of payment	Community Facility - construct/procure the construction of the Community Facility to be used as a shell site in accordance with the Community Facility Specification.	Peter George	RED		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Non Monetary Planning Obligations							
Country Side Properties UK & LBE	Highland Estate at Farn St P12-02461FLA	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorpace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3 bed maisonettes, 45 x 1 bed, 33 x 2 bed and 17 x 3 bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4 bed townhouses with balcony at second floor and 1 x 2 bed studio family).	20.03.13	Upper Edmonton	Edmonton	14,141.00	14,141.00	Within 10 years of the receipt of payment	S106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-								
	TOTAL					395,048.66	395,048.66						-	170,115.43	-	-	182,246.43	-	-	-	-	-	-	-	-	-	-	-	-	1,606.19	1,400.83	115.04	3,171.86	397.68	-	179,441.23	66,072.46	245,763.91
SEGO Industrial Estates Limited	Land at Advent Way (Former Reilly Site) London N18 3AH P12-03055FLA	Development of site to provide 3 blocks of 15 industrial units for B1b, B1c, B2 and B8 use (7 units incorporating mezzanine office space), a 5-storey, 90-bed Hotel (C1 use) with restaurant, bar and conference room to ground floor, new access road, access and egress from Advent Way, associated car parking, 2.4m high palette fence to boundary with siding and using gates to commercial units and drop barrier to Hotel and associated landscaping, lighting, plant and equipment and associated works.	18.08.13	Edmonton Green	Edmonton	102,362.00	TBC	Within 10 years of the receipt of payment	Employment and Skills Strategy Local Labour Report Business and Employment Initiative Contribution in line of the provision of Local training or employment placements as set out in the Employment and Skills Strategy to be used towards Jobnet	Anna Loughlin	RED		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Local Labour Report to be submitted one month prior to completion of works							
SEGO Industrial Estates Limited	Land at Advent Way (Former Reilly Site) London N18 3AH P12-03055FLA	Development of site to provide 3 blocks of 15 industrial units for B1b, B1c, B2 and B8 use (7 units incorporating mezzanine office space), a 5-storey, 90-bed Hotel (C1 use) with restaurant, bar and conference room to ground floor, new access road, access and egress from Advent Way, associated car parking, 2.4m high palette fence to boundary with siding and using gates to commercial units and drop barrier to Hotel and associated landscaping, lighting, plant and equipment and associated works.	18.08.13	Edmonton Green	Edmonton	102,362.00	TBC	Within 10 years of the receipt of payment	Energy Strategy Contribution	Jeff Lailler	SUSTAINABILITY		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Non Monetary Planning Obligations								
SEGO Industrial Estates Limited	Land at Advent Way (Former Reilly Site) London N18 3AH P12-03055FLA	Development of site to provide 3 blocks of 15 industrial units for B1b, B1c, B2 and B8 use (7 units incorporating mezzanine office space), a 5-storey, 90-bed Hotel (C1 use) with restaurant, bar and conference room to ground floor, new access road, access and egress from Advent Way, associated car parking, 2.4m high palette fence to boundary with siding and using gates to commercial units and drop barrier to Hotel and associated landscaping, lighting, plant and equipment and associated works.	18.08.13	Edmonton Green	Edmonton	102,362.00	15,000.00	Within 10 years of the receipt of payment	Footpath Contribution towards the cost of securing a footpath link to Moorfield Way	Dominic Milnes	T&T	CT064	-	15,262.91	-	-	15,262.91	-	-	-	-	-	-	-	-	-	-	-	-	53.64	Payment recently received and allocated to relevant department to consider projects. WORKS START MARCH 2015 - need to ascertain exact project							
SEGO Industrial Estates Limited	Land at Advent Way (Former Reilly Site) London N18 3AH P12-03055FLA	Development of site to provide 3 blocks of 15 industrial units for B1b, B1c, B2 and B8 use (7 units incorporating mezzanine office space), a 5-storey, 90-bed Hotel (C1 use) with restaurant, bar and conference room to ground floor, new access road, access and egress from Advent Way, associated car parking, 2.4m high palette fence to boundary with siding and using gates to commercial units and drop barrier to Hotel and associated landscaping, lighting, plant and equipment and associated works.	18.08.13	Edmonton Green	Edmonton	102,362.00	10,000.00	Within 10 years of the receipt of payment	Greenways Contribution towards the cost of providing and maintaining non motorised routes (ie pedestrian, jogger, cyclist and wheel chair users for health, etc, leisure and local journeys) and improvements to access at Angel Rd St	Eddie Gomez	T&T	CT066	-	20,013.67	-	-	20,013.67	-	-	-	-	-	-	-	-	-	-	-	-	-	70.44	Payment recently received and allocated towards Greenways cycle routes. To be spent in 15/16						
SEGO Industrial Estates Limited	Land at Advent Way (Former Reilly Site) London N18 3AH P12-03055FLA	Development of site to provide 3 blocks of 15 industrial units for B1b, B1c, B2 and B8 use (7 units incorporating mezzanine office space), a 5-storey, 90-bed Hotel (C1 use) with restaurant, bar and conference room to ground floor, new access road, access and egress from Advent Way, associated car parking, 2.4m high palette fence to boundary with siding and using gates to commercial units and drop barrier to Hotel and associated landscaping, lighting, plant and equipment and associated works.	18.08.13	Edmonton Green	Edmonton	102,362.00	10,000.00	Within 10 years of the receipt of payment	Landscaping Contribution towards the cost of improving the landscape planting and biodiversity in the vicinity of the development	Matt Wats	PARKS	CT065	-	10,006.83	-	-	10,006.83	-	-	-	-	-	-	-	-	-	-	-	-	-	35.36	Payment recently received and allocated to relevant department to consider projects.						
SEGO Industrial Estates Limited	Land at Advent Way (Former Reilly Site) London N18 3AH P12-03055FLA	Development of site to provide 3 blocks of 15 industrial units for B1b, B1c, B2 and B8 use (7 units incorporating mezzanine office space), a 5-storey, 90-bed Hotel (C1 use) with restaurant, bar and conference room to ground floor, new access road, access and egress from Advent Way, associated car parking, 2.4m high palette fence to boundary with siding and using gates to commercial units and drop barrier to Hotel and associated landscaping, lighting, plant and equipment and associated works.	18.08.13	Edmonton Green	Edmonton	102,362.00	10,000.00	Within 10 years of the receipt of payment	Signage Contribution towards the cost of improving road signage in the locality	Dominic Milnes	T&T	CT066	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Payment recently received and allocated to relevant department to consider projects.							

Developer	Site Address and Planning Reference	Development Description	Date Agreement Signed	Ward	Committee	Total financial obligation	Obligation Split	SPEND DEADLINE - BE18 - Present Commitment BE18-19	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	CURRENT BALANCE Spent (includes in year)	SPEND RECEIPTS - For Week Done ON A CODES 14	SPEND COMMITMENTS ON A CODES	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance After SAP Transactions	Other SM Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments			
SEGRO Industrial Estates Limited	Land at Advent Way (Former Reality Site) London N18 SM1 P12-0256PLA	Development of site to provide 3 blocks of 15 industrial units for B1b, B1c, B2 and B8 use (7 units incorporating mezzanine office space), a 5-storey, 96-bed Hotel (C1 use) with restaurant, bar and conference room to ground floor, new access road, access and egress from Advent Way, associated car parking, 2.4m high palladin fence to boundary with sliding and swing gates to commercial units and open lanes to Hotel and associated	18.08.13	Edmonton Green	Edmonton	102,352.00	30,000.00	Within 10 years of the receipt of payment	Late Completion Penalty to be paid if the industrial units are not completed within 2 years of commencement to be applied towards the appraising of the Ely Industrial Estate and or the provision of employment training initiatives in Enfield	Anna Loughlin	BED		-	-	-	-	-	-												Due to be paid if the industrial units are not completed within 2 years of commencement		
SEGRO Industrial Estates Limited	Land at Advent Way (Former Reality Site) London N18 SM1 P12-0256PLA	Development of site to provide 3 blocks of 15 industrial units for B1b, B1c, B2 and B8 use (7 units incorporating mezzanine office space), a 5-storey, 96-bed Hotel (C1 use) with restaurant, bar and conference room to ground floor, new access road, access and egress from Advent Way, associated car parking, 2.4m high palladin fence to boundary with sliding and swing gates to commercial units and open lanes to Hotel and associated	18.08.13	Edmonton Green	Edmonton	102,352.00	3,500.00	Within 10 years of the receipt of payment	Travel Plan Monitoring Fee	Safah Ishak/Hazel Buck	T&T	CT097	-	-	-	-	-	-								1,497.56	1,497.56		Part used to fund travel plan monitoring post in 13/14. Remaining balance will be used to fund post in 14/15. Funds spent			
SEGRO Industrial Estates Limited	Land at Advent Way (Former Reality Site) London N18 SM1 P12-0256PLA	Development of site to provide 3 blocks of 15 industrial units for B1b, B1c, B2 and B8 use (7 units incorporating mezzanine office space), a 5-storey, 96-bed Hotel (C1 use) with restaurant, bar and conference room to ground floor, new access road, access and egress from Advent Way, associated car parking, 2.4m high palladin fence to boundary with sliding and swing gates to commercial units and open lanes to Hotel and associated	18.08.13	Edmonton Green	Edmonton	102,352.00		Within 10 years of the receipt of payment	Couch Parking Space Upper Lee Valley Heat Network	David Taylor	T&T		-	-	-	-	-	-												Non Monetary Planning Obligations		
SEGRO Industrial Estates Limited	Land at Advent Way (Former Reality Site) London N18 SM1 P12-0256PLA	Development of site to provide 3 blocks of 15 industrial units for B1b, B1c, B2 and B8 use (7 units incorporating mezzanine office space), a 5-storey, 96-bed Hotel (C1 use) with restaurant, bar and conference room to ground floor, new access road, access and egress from Advent Way, associated car parking, 2.4m high palladin fence to boundary with sliding and swing gates to commercial units and open lanes to Hotel and associated	18.08.13	Edmonton Green	Edmonton	102,352.00	3,622.00	Within 10 years of the receipt of payment	SM Management Fee	Juanne Woodward	STRATEGIC PLANNING AND DESIGN	CT080	-	-	-	-	-	-														
TOTAL						512,932	102,912						- 43,263.41	-	-	- 43,263.41	-	-	-	-	-	-	-	- 599.24	-	- 4542.65	1497.56	- 4,962.09				
Mr Ashin P	240 Durants Road, Enfield EN9 7AE	Subdivision of site and erection of a part 2-storey, 2-bed end of terrace single family dwelling with access to Durants Road and repositioning of existing access.	04.12.13	Ponders End		16,668.93		NO DEADLINE	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Cartmel	Development & Estate Services Council Homes																		A DMR is being circulated to consult full balance towards the provision of additional affordable housing units on the New Avenue Estate Renewal project located in Southgate, N14. The Council has procured a development partner, the planning application is anticipated to be submitted in Dec 2015.			
								NO DEADLINE	Education Contribution towards the provision of educational facilities within the borough required as a consequence of the scheme	Keith Rowley	EDU	CT079	-	1,855.98	-	1,855.98	-	-	-	-	-	-	-	-	1,855.98	1,855.98	-	4.32	25.68	-	-	-
TOTAL						16,668.93	16,668.93						- 1,855.98	-	- 1,855.98	-	-	-	-	-	-	-	- 1,855.98	1,855.98	4.32	25.68	-	-				
London Academies Enterprise Trust	The Nightingale Academy Turn Road, Edmonton, London N9 8DQ P12-0256PLA	Single storey extension to sports hall to create a cafe and replacement door to north east elevation, construction of new student entrance to south east elevation and new visitors entrance to north west elevation alterations to Learning Resource Centre comprising new glazing and cladding, increase floor comprising 2 additional classrooms, replacement windows to north east elevation of main building and adjacent student entrance, erection of 3 free-standing canopies south of main	12.02.2013	Jubilee	Edmonton	Not exceeding £15,000	non-monetary	NO DEADLINE	Exchange of Land	TBC	TBC																					
London Academies Enterprise Trust	The Nightingale Academy Turn Road, Edmonton, London N9 8DQ P12-0256PLA	Single storey extension to sports hall to create a cafe and replacement door to north east elevation, construction of new student entrance to south east elevation and new visitors entrance to north west elevation alterations to Learning Resource Centre comprising new glazing and cladding, increase floor comprising 2 additional classrooms, replacement windows to north east elevation of main building and adjacent student entrance, erection of 3 free-standing canopies south of main	12.02.2013	Jubilee	Edmonton	Not exceeding £15,000	non-monetary	NO DEADLINE	Provision of a Footpath	TBC	T&T																					
London Academies Enterprise Trust	The Nightingale Academy Turn Road, Edmonton, London N9 8DQ P12-0256PLA	Single storey extension to sports hall to create a cafe and replacement door to north east elevation, construction of new student entrance to south east elevation and new visitors entrance to north west elevation alterations to Learning Resource Centre comprising new glazing and cladding, increase floor comprising 2 additional classrooms, replacement windows to north east elevation of main building and adjacent student entrance, erection of 3 free-standing canopies south of main	12.02.2013	Jubilee	Edmonton	Not exceeding £15,000	Not exceeding £15,000	NO DEADLINE	Lighting for the provision of sufficient lighting for the footpaths include £4,400 for the long term maintenance of the installed lighting referred to in para 5.2 list be agreement	Liam Mulrooney	T&T	CT098	-	15,000.00	-	15,000.00	-	-	-	-	-	-	-	-	17.60	-	15,017.60	-	15,017.60			
TOTALS													- 35,000.00	-	- 35,000.00	-	-	-	-	-	-	-	-	- 17.60	-	- 15,017.60	-	- 15,017.60				
Thames Water	Deephams Sewage Works Upgrade, Pickets Lock Lane Edmonton N9 0BA P14/02612FUL	TBC	17.02.15			10005.94	3,143.14		S106 Monitoring Fee	Jo Woodward	R&E	CT030																	PAD 17/02/15			
Thames Water	Deephams Sewage Works Upgrade, Pickets Lock Lane Edmonton N9 0BA P14/02612FUL	TBC	17.02.15			10005.94	non-monetary		Operational Phase Travel Plan	TBC	TBC																			On commencement of development		
Thames Water	Deephams Sewage Works Upgrade, Pickets Lock Lane Edmonton N9 0BA P14/02612FUL	TBC	17.02.15			10005.94	3,431.40		Operational Phase Travel Plan Contribution																					Payment due prior to implementation of the approved Operational Phase Travel Plan		
Thames Water	Deephams Sewage Works Upgrade, Pickets Lock Lane Edmonton N9 0BA P14/02612FUL	TBC	17.02.15			10005.94	See Comments		Business and Employment Initiative contribution	Gavin Redman	R&E																			This is set at £200 per week for every week that a placement is not provided (in line with S106(S7)) but may not be needed		
Thames Water	Deephams Sewage Works Upgrade, Pickets Lock Lane Edmonton N9 0BA P14/02612FUL	TBC	17.02.15			10005.94	3,431.40		Construction Phase Travel Plan Monitoring contribution	T&T	R&E																			Due prior to implementation of the approved Construction Phase Travel Plan		
Thames Water	Deephams Sewage Works Upgrade, Pickets Lock Lane Edmonton N9 0BA P14/02612FUL	TBC	17.02.15			10005.94	non-monetary		Local Employment Strategy	Gavin Redman	R&E																			To be implemented and kept implemented. A Local Labour Report is also due, which sets out number of training placements due. If a fails to demonstrate sufficient provision TV need to pay the "Business and Employment Initiative" set out above		
Thames Water	Deephams Sewage Works Upgrade, Pickets Lock Lane Edmonton N9 0BA P14/02612FUL	TBC	17.02.15			10005.94	non-monetary		Construction Phase Travel Plan Monitoring	TBC	TBC																			Prior to Commissioning Date the Education Facility and Guided Educational Trail should be provided		
TOTAL RISE EDMONTON Enfield North						4,459,997.65	4,459,997.65						- 1,897,813.79	- 29,095.98	- 33,000.00	- 1,893,427.77	-	-	-	-	-	-	- 1,375.00	36,346.99	26,337.25	509,377.21	953,437.85	- 3,663.79	49.46	- 543,996.63	322,287.97	- 221,706.64

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Consistency	Total financial obligation	Obligation Split	SPEND DEADLINE - If it is a permit complete, RFD + 100 days from start of works	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	CURRENT BALANCE Spent (includes in year)	SP. RECEIPTS For Work Done ON A CODES 14	NEW COMMITMENTS ON A CODES	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance After SAP Transactions	Other S106 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments
SEGRO PLC wharf contribution	Phase 1 Navigation Park, Moness Road, Ponders End. ENS 4NQ TP/10/1215	Erection of 3,511 sqm warehouse/distribution building (Class B9) with ancillary office space, car/van/RCV parking, new access and associated landscaping.	10.01.11	Ponders End	Edmonton	30,000.00	30,000.00	07.02.16	Columbia Wharf Contribution towards the enhancement of aquatic and bank habitats at Columbia Wharf	Shaun Strutt	REGEN	CT0264	30,426.80	-	-	30,426.80	-	-	-	-	-	-	-	107.04	30,533.84	-	30,533.84	Project proposal has been drafted with Columbia wharf working group to deliver Phase 1 of the south water meadows project expected to progress in 15/16	
SEGRO PLC wharf contribution	Phase 1 Navigation Park, Moness Road, Ponders End. ENS 4NQ TP/10/1215	Erection of 3,511 sqm warehouse/distribution building (Class B9) with ancillary office space, car/van/RCV parking, new access and associated landscaping.	10.01.11	Ponders End	Edmonton	13,750.00	13,750.00	07.02.16	Job Bookage Contribution	Mary O'Sullivan	BED	CT0265	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	To fund jobcost for 12/13. Complete	
SEGRO PLC wharf contribution	Phase 1 Navigation Park, Moness Road, Ponders End. ENS 4NQ TP/10/1215	Erection of 3,511 sqm warehouse/distribution building (Class B9) with ancillary office space, car/van/RCV parking, new access and associated landscaping.	10.01.11	Ponders End	Edmonton	9,000.00	3,500.00	20.01.16	Monitoring Fee for Travel Plan	Safiah Ishag/Rachel Buck	T&T	CT0269	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	06,500 was committed to funding Jobcost for 12/13. Complete. The remaining balance allocated to fund a travel plan co-ordinator post (Safiah Ishag) to monitor travel plans and drawn down in 13/14.	
SEGRO PLC wharf contribution	Phase 1 Navigation Park, Moness Road, Ponders End. ENS 4NQ TP/10/1215	Erection of 3,511 sqm warehouse/distribution building (Class B9) with ancillary office space, car/van/RCV parking, new access and associated landscaping.	10.01.11	Ponders End	Edmonton	9,000.00	2,500.00	20.01.16	Monitoring Fee for Construction Contribution	Mary O'Sullivan	BED	CT0269	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	06,500 was committed to funding Jobcost for 12/13. Complete. The remaining balance allocated to fund a travel plan co-ordinator post (Safiah Ishag) to monitor travel plans and drawn down in 13/14.	
SEGRO PLC wharf contribution	Phase 1 Navigation Park, Moness Road, Ponders End. ENS 4NQ TP/10/1215	Erection of 3,511 sqm warehouse/distribution building (Class B9) with ancillary office space, car/van/RCV parking, new access and associated landscaping.	10.01.11	Ponders End	Edmonton	9,000.00	3,000.00	20.01.16	Monitoring Fee for Job Bookage Contribution	Mary O'Sullivan	BED	CT0269	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Complete	
SEGRO PLC wharf contribution	Phase 1 Navigation Park, Moness Road, Ponders End. ENS 4NQ TP/10/1215	Erection of 3,511 sqm warehouse/distribution building (Class B9) with ancillary office space, car/van/RCV parking, new access and associated landscaping.	10.01.11	Ponders End	Edmonton	-	-	-	Construction Contribution towards the provision of construction site work placements in Enfield	Anna Loughlin	BED	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Payment is due if training places are not fulfilled.
SEGRO PLC wharf contribution	Phase 1 Navigation Park, Moness Road, Ponders End. ENS 4NQ TP/10/1215	Erection of 3,511 sqm warehouse/distribution building (Class B9) with ancillary office space, car/van/RCV parking, new access and associated landscaping.	10.01.11	Ponders End	Edmonton	-	-	-	Landscaping Scheme Travel Plan	Rachel Buck	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Non-monetary
TOTAL						92,950.00	92,950.00						30,426.80	-	-	30,426.80	-	-	-	-	-	-	-	107.04	30,533.84	-	30,426.80		
Meridian Business Association	Meridian Business Park		09.12.08	Ponders End	Edmonton	100,000.00	100,000.00	NO DEADLINE	Works at Meridian Business Park contribution for regeneration works, especially from M8, works on Park Road S106 Agreement	Anna Loughlin	BED	CT0215	86,194.98	-	-	86,194.98	-	-	-	-	-	-	-	303.12	86,498.10	86,194.98	0.00	Legal Agreement being revised with Meridian Business Park Association and this scheme will be incorporated into Ponders End area regeneration once agreement revised.	
Kaighapur Homes Ltd	Pumping Station at Hackley Rd. EN2 8LA TP/30/180	Conversion of existing pump house to provide 8 residential units comprising 4 houses (2 x 3-bed and 2 x 2-bed) and 4 flats (1 x 3-bed and 1 x 2-bed) together with conversion of basement to provide 4 parking spaces and 1 garage with access ramp and conversion of existing detached workshop and coal store to a 2-bed single family dwelling and 4 car ports involving a single storey side extension.	07.12.11	Chase	Enfield North	269,659.80	220,787.80	17.10.17	Affordable Housing towards the provision of affordable housing in the borough as a consequence of the development	Sarah Carter	Development & Estates Renewal Council Homes	CT0304	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	30% of affordable housing contribution received. Remaining 70% due no later than occupation of the fourth unit. To be monitored closely for remaining payment. Balance to be allocated to the provision of additional affordable housing units on the New Avenue Estate Renewal Project. Please see affordable housing tab.	
Kaighapur Homes Ltd	Pumping Station at Hackley Rd. EN2 8LA TP/30/180	Conversion of existing pump house to provide 8 residential units comprising 4 houses (2 x 3-bed and 2 x 2-bed) and 4 flats (1 x 3-bed and 1 x 2-bed) together with conversion of basement to provide 4 parking spaces and 1 garage with access ramp and conversion of existing detached workshop and coal store to a 2-bed single family dwelling and 4 car ports involving a single storey side extension.	07.12.11	Chase	Enfield North	269,659.80	34,412.00	17.10.17	Education to provide additional educational facilities in Enfield	Keith Rowley	EDU	CT0326	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Allocated towards Maryhill Primary Expansion - Complete.	
Kaighapur Homes Ltd	Pumping Station at Hackley Rd. EN2 8LA TP/30/180	Conversion of existing pump house to provide 8 residential units comprising 4 houses (2 x 3-bed and 2 x 2-bed) and 4 flats (1 x 3-bed and 1 x 2-bed) together with conversion of basement to provide 4 parking spaces and 1 garage with access ramp and conversion of existing detached workshop and coal store to a 2-bed single family dwelling and 4 car ports involving a single storey side extension.	07.12.11	Chase	Enfield North	269,659.80	13,400.00	17.10.17	S106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Please Management Fee Tab	
Kaighapur Homes Ltd	Pumping Station at Hackley Rd. EN2 8LA TP/30/180	Conversion of existing pump house to provide 8 residential units comprising 4 houses (2 x 3-bed and 2 x 2-bed) and 4 flats (1 x 3-bed and 1 x 2-bed) together with conversion of basement to provide 4 parking spaces and 1 garage with access ramp and conversion of existing detached workshop and coal store to a 2-bed single family dwelling and 4 car ports involving a single storey side extension.	07.12.11	Chase	Enfield North	269,659.80	1,000.00		Highways Fee and Cost of Works TBC	David Cowan	T&T	CT0332	51,988.14	-	-	51,988.14	-	-	-	242.83	48,610.78	-	48,853.61	139.68	3,274.21	3,134.53	139.68	DR received for initial design work, which is now complete. Developer has been involved for S244 for highways works including resurfacing and widening of footpath, improving access to Hackley Road, laying artificial surfacing and resurfacing existing signage. Payment received and allocated to works. Once development is complete work will start, expected to commence in 14/15. WORK DUE TO COMPLETE: SUMMER 2015	
TOTAL						269,659.80	269,659.80						108,184.98	-	-	108,184.98	-	-	-	-	-	-	-	139.68	3,274.21	3,134.53	139.68		
Enfield Energy Centre Ltd	Bruncoth Way, Brimsdown EI 9Y/001	Construction of a combined cycle gas turbine electricity generating station.	16.02.97	Enfield Highway	Enfield North	910,000.00	150,000.00	Within 12 yrs of payment 01.05.12	Environmental Improvements in the vicinity of the Land (including but not limited to traffic and highways measures or works)	David Taylor	T&T	CT0047	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Mokro Walkway - Complete	
Enfield Energy Centre Ltd	Bruncoth Way, Brimsdown EI 9Y/001	Construction of a combined cycle gas turbine electricity generating station.	16.02.97	Enfield Highway	Enfield North	910,000.00		Within 12 yrs of payment 01.05.12	Environmental Improvements in the vicinity of the Land (including but not limited to traffic and highways measures or works)	Andrew Dodkins	T&T	CT0236	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Environmental Improvements. Improvements to outside Turkey Street Station are now complete.	
Enfield Energy Centre Ltd	Bruncoth Way, Brimsdown EI 9Y/001	Construction of a combined cycle gas turbine electricity generating station.	16.02.97	Enfield Highway	Enfield North	910,000.00	150,000.00	Within 12 yrs of payment 01.05.12	Air Quality Monitoring. Upgrading and maintaining air quality monitoring equipment in the locality of the development	Sue McDaniel	REGULATORY SERVICES	CT0048	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Air Monitoring Allocated to A2038/6/A2032/3. Complete	
Enfield Energy Centre Ltd	Bruncoth Way, Brimsdown EI 9Y/001	Construction of a combined cycle gas turbine electricity generating station.	16.02.97	Enfield Highway	Enfield North	910,000.00		Within 12 yrs of payment 01.05.12	Air Quality Monitoring. Upgrading and maintaining air quality monitoring equipment in the locality of the development	Sue McDaniel	REGULATORY SERVICES	CT0050	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Complete	
Enfield Energy Centre Ltd	Bruncoth Way, Brimsdown EI 9Y/001	Construction of a combined cycle gas turbine electricity generating station.	16.02.97	Enfield Highway	Enfield North	910,000.00	40,000.00	Within 12 yrs of payment 01.05.12	Street Lighting	David Taylor	T&T	CT0049	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Complete.	
Enfield Energy Centre Ltd	Bruncoth Way, Brimsdown EI 9Y/001	Construction of a combined cycle gas turbine electricity generating station.	16.02.97	Enfield Highway	Enfield North	910,000.00	240,000.00	Within 12 yrs of payment 01.05.12	Economic Regeneration	Anna Loughlin	T&T	TBC	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Complete.	
Enfield Energy Centre Ltd	Bruncoth Way, Brimsdown EI 9Y/001	Construction of a combined cycle gas turbine electricity generating station.	16.02.97	Enfield Highway	Enfield North	910,000.00	180,000.00	Within 12 yrs of payment 01.05.12	Community Benefits For the general benefit of the area in the vicinity of the land or of its inhabitants	Matthew Wats	PARKS	CT0084	26.31	-	-	26.31	-	-	-	-	-	-	-	0.12	26.43	-	26.31	Allocated to playground and changing room improvements in Albany Park - Works complete. Remaining balance is for retention fees - drawn down in 13/14.	
Enfield Energy Centre Ltd	Bruncoth Way, Brimsdown EI 9Y/001	Construction of a combined cycle gas turbine electricity generating station.	16.02.97	Enfield Highway	Enfield North	910,000.00	180,000.00	Within 12 yrs of payment 01.05.12	Community Benefits For the general benefit of the area in the vicinity of the land or of its inhabitants	Tina Heather	PARKS	CT0091	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Fully allocated for the provision of CCTV owned with Enfield Island Village Youth Trust. Complete	
Enfield Energy Centre Ltd	Bruncoth Way, Brimsdown EI 9Y/001	Construction of a combined cycle gas turbine electricity generating station.	16.02.97	Enfield Highway	Enfield North	910,000.00	130,000.00	Within 12 yrs of payment 01.05.12	Community Benefits To provide a community facility within the vicinity	Matthew Wats	PARKS	CT0185	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Complete - move to contingency	
TOTAL						910,000.00	910,000.00						26.31	-	-	26.31	-	-	-	-	-	-	-	0.12	26.43	-	26.31		
TWU	Innova Park 94/0281	Redevelopment of site by the creation of business/science park including land decontamination, the construction of new highway access off Mollison Avenue, the erection of buildings, the creation of wildlife habitats, the development of open space and landscaping (outline).	17.12.02 20.04.05 11.09.07	Enfield lock	Enfield North	984,444.00	110,000.00	06.02.13	Public Transport for improvements to the bus services and public transport facilities serving Innova Park	Liam Mulrooney	T&T	CT0055	7,861.29	-	2,486.75	10,348.03	-	-	-	-	78.03	10,270.00	-	10,348.03	19.91	19.91	0.00	0.00	Funding was received for TfL to provide an enhanced bus to serve residents within Innova Park for a number of years, which is now complete. The remaining balance is surplus funds. Balance of both public transport contributions committed to fund study to identify measures to mitigate impact of closure of level crossing on buses and other local traffic. This element of the study is complete and remaining monies to be drawn down by the end of Quarter 1 of 15/16
TWU	Innova Park 94/0281	Redevelopment of site by the creation of business/science park including land decontamination, the construction of new highway access off Mollison Avenue, the erection of buildings, the creation of wildlife habitats, the development of open space and landscaping (outline).	17.12.02 20.04.05 11.09.07	Enfield lock	Enfield North	984,444.00	50,000.00	20.04.20	Pedestrian Cycle Routes Towards the east of the provision of the cycle ways and pedestrian routes	Liam Mulrooney	T&T	CT0055	0.00	-	0.00	-	-	-	-	-	-	-	-	-	-	-	-	0.00	Pedestrian Works were complete some time ago but funds were not drawn down. Balance recently allocated to road locking improvements at Innova park - Complete.
TWU	Innova Park 94/0281	Redevelopment of site by the creation of business/science park including land decontamination, the construction of new highway access off Mollison Avenue, the erection of buildings, the creation of wildlife habitats, the development of open space and landscaping (outline).	17.12.02 20.04.05 11.09.07	Enfield lock	Enfield North	984,444.00	10,000.00	06.02.13	Open Space Contribution towards the provision of site open space	Matthew Wats	PARKS	CT0218	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Complete	
TWU	Innova Park 94/0281	Redevelopment of site by the creation of business/science park including land decontamination, the construction of new highway access off Mollison Avenue, the erection of buildings, the creation of wildlife habitats, the development of open space and landscaping (outline).	17.12.02 20.04.05 11.09.07	Enfield lock	Enfield North	984,444.00	10,000.00	06.02.13	TfLN Payment for the TfLN study which is a study of the operation of the A10/Balmore Lane junction and its interaction with the A10/A21 junction in order to identify possible improvements to the junction.	David Taylor	T&T	CT0219	10,699.49	-	-	10,699.49	-	-	-	-	-	-	-	-	-	-	-	10,757.17	TfLN Payment for improvements at A10 junction. TfL are committed to opening the monies and are looking into opportunities for improvements around A10 junction. Waiting for TfL to invoice Council for works

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Commitment	Total financial obligation	Obligation split	NO DEADLINE - BEYOND PROJECT COMPLETE - RED - NOT FOR PAYMENT	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	CURRENT BALANCE Split - includes in year	FOR PAYMENT - For Work Done ON A CODES 14	COMMITMENTS 5 ON A CODES	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance - After SAP Transactions	Other S100 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments	
TWU	Innova Park 94/0281	Redevelopment of site by the creation of business/science park including land decontamination, the construction of new highway access off Milldown Avenue, the erection of buildings, the creation of wildlife habitats, the development of open space and landscaping (outline).	17.12.02 20.04.05 11.09.07	Enfield lock	Enfield North	984,444.00	110,000.00	21.09.13	Public Transport for improvements to the bus services and public transport facilities serving Innova Park	David Taylor	T&T	CT0220	-	5,132.98	-	2,486.75	-	-	-	-	-	-	-	16.56	-	2,662.79	2,662.23	16.56	Funding was received for TEL to provide an enhanced bus to serve residents within Innova Park for a number of years, which is now complete. The remaining balance is surplus funds. Balance of both public transport contributions committed to fund study to identify measures to mitigate impact of closure of level crossings on buses and other local traffic. This element of the study is complete and remaining monies to be drawn down by the end of Quarter 1 15/16	
TWU	Innova Park 94/0281	Redevelopment of site by the creation of business/science park including land decontamination, the construction of new highway access off Milldown Avenue, the erection of buildings, the creation of wildlife habitats, the development of open space and landscaping (outline).	17.12.02 20.04.05 11.09.07	Enfield lock	Enfield North	984,444.00	200,000.00	01.01.10	Amelioration Works for highways improvements proposed by the Council as the local highway authority in order to ease the flow or improve the safety of traffic (including pedestrians) to and from Innova Park	David Taylor	T&T	CT0242	-	180,653.72	-	180,653.72	-	-	7,545.00	3,264.78	7,315.02	1950	19,874.80	-	402.82	-	161,581.74	160,779.02	402.82	25k spent on funding the initial NCAR modelling work. After delays caused by resources being prioritised on the Roads Task Force, TEL have agreed to the introduction of SCOOT (not SKVA) at A105/Chalence Road, A105/ Innova Way and A105/Hertford Road. Balance committed to fund high level NCAR modelling and to be fully spent by Summer 2015.
TWU	Innova Park 94/0281	Redevelopment of site by the creation of business/science park including land decontamination, the construction of new highway access off Milldown Avenue, the erection of buildings, the creation of wildlife habitats, the development of open space and landscaping (outline).	17.12.02 20.04.05 11.09.07	Enfield lock	Enfield North	984,444.00	144,444.00	18.08.17	Education Contribution for the provision of additional primary and secondary educational facilities or improvements to existing facilities within the borough necessitated by the 'Public Transport'	Keith Rowley	EDU	CT0321	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Allocated towards additional classes at Prince of Wales School Complete. Drawn down in 12/13	
TWU	Innova Park 94/0281	Redevelopment of site by the creation of business/science park including land decontamination, the construction of new highway access off Milldown Avenue, the erection of buildings, the creation of wildlife habitats, the development of open space and landscaping (outline).	17.12.02 20.04.05 11.09.07	Enfield lock	Enfield North	984,444.00	110,000.00	21.09.13	Public Transport for improvements to the bus services and public transport facilities serving Innova Park	David Taylor	T&T	CT0252	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Used for funding additional public transport to serve residents within Innova Park - Complete	
TWU	Innova Park 94/0281	Redevelopment of site by the creation of business/science park including land decontamination, the construction of new highway access off Milldown Avenue, the erection of buildings, the creation of wildlife habitats, the development of open space and landscaping (outline).	17.12.02 20.04.05 11.09.07	Enfield lock	Enfield North	984,444.00	200,000.00	01.01.10	Academy Transport Contributions	T&T	T&T	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Awaiting continuation & funds from Education on status.		
TOTAL						984,444.00	984,444.00					-	204,347.48	-	-	204,347.48	-	7,545.00	3,342.81	17,385.02	1,950.00	30,222.83	674.87	18.91	-	174,791.71	165,425.15	11,366.56		
Gauley Properties and Delta PLC	Delta works site, Millhand Lane, Enfield 99/0660 (2/052)	Redevelopment of site for B1(c) (business), B2 (general industrial) and B8 (storage/distribution) uses. (Outline)	01.06.00	Enfield Highway	Enfield North	125,000.00	100,000.00	Term of 25 year lease	Riverside Walk Maintenance towards the cost of repair and maintenance of the Riverside Walk works	Andy Bell/Karen Maguire	T&T	CT0125	-	138,933.48	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Money will be spent over the duration of the 25 year lease - No deadline Approval to earmark monies for this use are being pursued	
Gauley Properties and Delta PLC	Delta works site, Millhand Lane, Enfield 99/0660 (2/052)	Redevelopment of site for B1(c) (business), B2 (general industrial) and B8 (storage/distribution) uses. (Outline)	01.06.00	Enfield Highway	Enfield North	125,000.00	25,000.00	5 years from the date of receipt	Green Travel Contribution for the provision of Green Transport in the area and the Brimsdown business area	Andy Bell	EC DEV	CT0104	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Various improvements to Brimsdown business area. Complete		
TOTAL						125,000.00	125,000.00					-	138,933.48	-	-	138,933.48	-	-	-	-	-	-	-	-	-	-	-	-	138,933.48	
BM Estates Ltd., Banner Homes Ltd, National Westminster Bank Plc	Strayfield Works CLASS TP/97/0821	Redevelopment of existing factory buildings by the erection of 12 houses. (Outline)	12.02.99	Chase	Enfield North	250,000.00	35,000.00	NO DEADLINE	Public Amenity Contribution to cover future maintenance of the Public Amenity Land	Matthew Wats	PARKS	CT0109	-	49,417.01	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Legal advice is being sought to produce a deed of variation to enable monies to be spent.	
BM Estates Ltd., Banner Homes Ltd, National Westminster Bank Plc	Strayfield Works CLASS TP/97/0821	Redevelopment of existing factory buildings by the erection of 12 houses. (Outline)	12.02.99	Chase	Enfield North	250,000.00	185,000.00	5 yrs from the date of carrying out a material operation in connection with the Proposed Development.	Affordable Housing For the provision of off site social housing	Sarah Carter	Development & Future Renewal Council Homes	CT0102	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Drawn down to part fund the Ploagh Site, Turkey Street and to part fund the acquisition of 38 Suffolk Road - Complete	
BM Estates Ltd, Banner Homes Ltd, National Westminster Bank Plc	Strayfield Works CLASS TP/97/0821	Redevelopment of existing factory buildings by the erection of 12 houses. (Outline)	12.02.99	Chase	Enfield North	250,000.00	12,000.00	NO DEADLINE	Education Contribution towards the provision of education that serve the area	Keith Rowley	EDU	CT0100	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Contribution transferred to capital works for schools in the borough Complete		
TOTAL						250,000.00	230,000.00					-	49,417.01	-	-	49,417.01	-	-	-	-	-	-	-	-	-	-	-	-	49,417.01	
Gauley Properties Ltd	ESAB site Milldown Avenue EN8 7RU ENFIELD LOCK TP/04/0448	Redevelopment of site for B1(c) (business), B2 (general industrial) and B8 (storage/distribution) uses. (Outline)	11.04.05	Enfield Lock	Enfield North	110,000.00	100,000.00	31.03.12	Mana System towards the reasonable and proper costs incurred by the Council and/or TEL in the installation of the MVA System at the HBMA Junction	David Taylor	T&T	CT0224	-	119,800.40	-	-	-	-	-	4,316.22	111,797.66	603.96	114,707.84	315.25	-	3,407.81	3,696.32	288.71	After delays caused by resources being prioritised on the Roads Task Force, TEL have agreed to the introduction of SCOOT (not MOVA) at A105/Chalence Road, A105/ Innova Way and A105/Hertford Road. The contribution will help fund the installation of SCOOT at the junction of the A105/A105.	
Gauley Properties Ltd	ESAB site Milldown Avenue EN8 7RU ENFIELD LOCK TP/04/0448	Redevelopment of site for B1(c) (business), B2 (general industrial) and B8 (storage/distribution) uses. (Outline)	11.04.05	Enfield Lock	Enfield North	110,000.00	10,000.00	31.03.12	Traffic Payment Towards a study for the operation of the A105/Bullmoor Lane junction in the vicinity of the Site	TEL	T&T	CT0225	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Traffic Study Payment Complete		
TOTAL						110,000.00	110,000.00					-	119,800.40	-	-	119,800.40	-	-	-	-	-	-	-	-	-	-	-	-	119,800.40	
Sevite Homes	Land adj. Turkey St Station EN3 5TT 05/1579	Redevelopment of site by the erection of (22) two-bed flats, 12 x one-bed flats in 3 and 4-storey blocks, 12 x four-bed, 2-storey houses and 8 x three-bed, 2-storey houses affordable units with associated access and car parking.	15.04.04	Turkey Street	Enfield North	250,500.00	24,500.00	NO DEADLINE	Highways Contribution Towards off-site highway works in the vicinity of the site	N/A	T&T	CT0143	-	-	-	-	-	-	-	-	4,316.22	111,797.66	603.96	114,707.84	315.25	-	3,407.81	3,696.32	288.71	-
Sevite Homes	Land adj. Turkey St Station EN3 5TT 05/1579	Redevelopment of site by the erection of (22) two-bed flats, 12 x one-bed flats in 3 and 4-storey blocks, 12 x four-bed, 2-storey houses and 8 x three-bed, 2-storey houses affordable units with associated access and car parking.	15.04.04	Turkey Street	Enfield North	250,500.00	100,000.00	NO DEADLINE	Education Contribution towards the provision of education in the vicinity of the site	Keith Rowley	EDU	CT0144	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	100,000 allocated towards provision of Education in the borough Complete	
Sevite Homes	Land adj. Turkey St Station EN3 5TT 05/1579	Redevelopment of site by the erection of (22) two-bed flats, 12 x one-bed flats in 3 and 4-storey blocks, 12 x four-bed, 2-storey houses and 8 x three-bed, 2-storey houses affordable units with associated access and car parking.	15.04.04	Turkey Street	Enfield North	250,500.00	52,000.00	NO DEADLINE	Footpath Refurbishment for refurbishment of the footpath that runs through the adjoining open space	Liam Mulcooney	T&T	CT0145	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	06,397 ADB/08 Aylards Footpath Works - £21,690 ADB/08 Works to Turkey Street Footpath (Dec 2009) Complete	
Sevite Homes	Land adj. Turkey St Station EN3 5TT 05/1579	Redevelopment of site by the erection of (22) two-bed flats, 12 x one-bed flats in 3 and 4-storey blocks, 12 x four-bed, 2-storey houses and 8 x three-bed, 2-storey houses affordable units with associated access and car parking.	15.04.04	Turkey Street	Enfield North	250,500.00	54,000.00	NO DEADLINE	Children's Play Equipment for the provision of new equipment within existing children's play area in the vicinity of the site	Matthew Wats	PARKS	CT0146	-	17,170.53	-	-	-	-	-	-	-	2,668.00	7,700.36	10,368.36	53.42	-	6,855.59	14,502.53	7,646.94	DAR authorised allocation of balance towards accessibility & landscaping improvements to St Georges Field. Consultation complete, tender process to shortly begin. Full expenditure planned for 15/16
TOTAL						250,500.00	230,500.00					-	17,170.53	-	-	17,170.53	-	-	-	-	-	-	-	-	-	-	-	-	7,646.94	
Terence Lazareby SAS Properties UK Limited	Florence Ave. car park, Florence Ave/Enfield EN2 8HE TP/05/0443 HIGHLANDS	Redevelopment of site for residential purposes. (Outline application)	26.04.06	Highlands	Enfield North	53,000.00	18,000.00	NO DEADLINE	Parking Contribution towards cost of parking, surveys, preparing a preliminary design and consulting on an extending CPZ in Enfield Town	Liam Mulcooney	T&T	CT0209	-	17,507.39	-	-	-	-	-	-	-	-	-	-	-	-	-	-	4,355.56	Loading bay is now installed and junction protection works have been carried out. This will be transferred to fund works specifically within the Kimberley Gardens vicinity. Awaiting start date of works from highways.
Terence Lazareby SAS Properties UK Limited	Florence Ave. car park, Florence Ave/Enfield EN2 8HE TP/05/0443 HIGHLANDS	Redevelopment of site for residential purposes. (Outline application)	26.04.06	Highlands	Enfield North	53,000.00	35,000.00	NO DEADLINE	CPZ Contribution OHS Additional sum for the implementation of the CPZ measures (on request of LB)	David Taylor	T&T	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	T&T to confirm whether additional CPZ monies are needed.		
TOTAL						53,000.00	53,000.00					-	17,507.39	-	-	17,507.39	-	-	-	-	-	-	-	-	-	-	-	-	4,355.56	
Magnaest Ltd	5 65A Old Park road Enfield HIGHLANDS 04/1499 05/1730	Redevelopment by the erection of three storey block of 22 x 2 bedroom and 1x1 bedroom flats, vehicular access and basement parking.	17.02.05	Highlands	Enfield North	25,000.00	25,000.00	5th anniversary of the first occupation (Sept 07 - September 2012)	Highways Contribution towards off-site works to improve the highway in the vicinity of the land	David Cowan	T&T	CT0180	-	14,689.42	-	-	-	-	-	-	-	-	-	-	-	-	-	-	0.00	Zebra crossing/traffic island in vicinity of roundabout Old Park Road. Works are complete - Council in discussion with the developer about the allocation of the remaining funds.
ADT Auctions Ltd	Great Cambridge Road 620/60 EN3 381, 94/0484 SCL/TILBURY	Change of use of existing motor vehicle auction and general industrial (B2) to motor vehicle auction centre including alterations to the access.	11.06.95	Southern	Enfield North	3,000.00	3,000.00	NO DEADLINE	Environmental Improvements Contribution towards general environmental improvements within the area	David Taylor	T&T	CT0078	-	3,357.92	-	-	-	-	-	-	-	3,344.21	-	-	-	-	13.71	13.71	A10 Central Reservation Works - Complete. Monies are to be transferred to TEL - still awaiting advice from TEL.	
CDS Ltd	89, Lockfield Avenue, EN3 0U/1640 ENFIELD HIGHWAY	Redevelopment of site by the demolition of existing industrial unit and erection of new data centre (DC use)	01.09.01	Enfield Highway	Enfield North	20,000.00	20,000.00	NO DEADLINE	Green Transport Contribution Towards the provision of Green Transport initiatives within the vicinity of the site and Brimsdown business area	Andy Bell	EC DEV	CT0105	-	14,480.93	-	-	-	-	-	-	-	-	-	-	-	-	-	-	0.00	Money has been transferred from CT0087 To be used to fund local Brimsdown businesses with train & bus timetable information in 13/14
Gauley Properties Ltd	Relating to G Park (former ESAB) Milldown Avenue Site Linked to TP/04/0448 TP/070254	Erection of 3 buildings to provide a combined home deliveries (dot com) and express distribution centre (BE) with associated vehicular maintenance building, gate house, vehicle fueling and washing facilities, van and staff parking, landscaping, service yard, service road, combined heating and power (3-ph) plant and associated infrastructure (including overhead tank, pump house, switch rooms, fuel tanks, compactor and back-up generators), with access to staff parking from Hertford Road and vehicular access to service area from Milldown Avenue.	23.11.10	Enfield Lock	Enfield North	128,777.00	45,000.00	NO DEADLINE	Jobseeker Local Construction Employment Strategy	Mary O'Sullivan	RED	CT0276	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Allocated to fund Jobsaver for 12/13 - funds were drawn down in March 2013.	
Gauley Properties Ltd	Relating to G Park (former ESAB) Milldown Avenue Site Linked to TP/04/0448 TP/070254	Erection of 3 buildings to provide a combined home deliveries (dot com) and express distribution centre (BE) with associated vehicular maintenance building, gate house, vehicle fueling and washing facilities, van and staff parking, landscaping, service yard, service road, combined heating and power (3-ph) plant and associated infrastructure (including overhead tank, pump house, switch rooms, fuel tanks, compactor and back-up generators), with access to staff parking from Hertford Road and vehicular access to service area from Milldown Avenue.	23.11.10	Enfield Lock	Enfield North	128,777.00	20,000.00	NO DEADLINE	Cycle Way towards implementation of sections of the greenways cycle scheme	Jonathan Goodson	T&T	CT0262	-	20,284.54	-	-	-	-	-	-	-	-	-	-	-	-	-	-	20,284.54	Greenways cycle scheme comprises of a network of routes across the borough. The balance will contribute towards implementation of scheme local to the development and will be completed in 15/16.

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Consultancy	Total financial obligation	Obligation Split	SPEND DEADLINE - R115 - Post-Completion, RED - 10/1/2015, P.A.M. 10/1/2015	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	CURRENT BALANCE Split - (includes in year)	SPEND RECEIPTS - For Work Done ON A CODES 14	COMMITMENTS ON A CODES	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance - After SAP Transactions	Other S186 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments
Gaseley Properties Ltd	Relating to G Park (Former ESAB) Millhouse Avenue Site. Linked to IP/04/0448. TYP01254	Erection of 3 buildings to provide a combined home deliveries (dot com) and express distribution centre (88) with associated vehicular maintenance building, gate house, vehicle fueling and washing facilities, van and staff parking, landscaping, service yard, service road, combined heating and power (3hp) plant and associated infrastructure (including sprinkler tank, pump house, switch rooms, fuel tanks, compactors and back-up generators, with access to staff parking from Millhouse Avenue)	23.11.10	Enfield Lock	Enfield North	128,777.00	15,000.00	NO DEADLINE	Public Transport Contribution towards the installation or improvement of bus waiting facilities.	Liam Mulvenney	T&T	CT0263	15,213.41			15,213.41								53.52		15,266.95		15,213.41	TfL are funding a series of bus stop improvements across the borough. Money will be used to fund any shortfall for works being carried out in vicinity of the development
Gaseley Properties Ltd	Relating to G Park (Former ESAB) Millhouse Avenue Site. Linked to IP/04/0448. TYP01254	Erection of 3 buildings to provide a combined home deliveries (dot com) and express distribution centre (88) with associated vehicular maintenance building, gate house, vehicle fueling and washing facilities, van and staff parking, landscaping, service yard, service road, combined heating and power (3hp) plant and associated infrastructure (including sprinkler tank, pump house, switch rooms, fuel tanks, compactors and back-up generators, with access to staff parking from Millhouse Avenue)	23.11.10	Enfield Lock	Enfield North	128,777.00	3,000.00	NO DEADLINE	Monitoring Fee for Travel Plan	Safiah Ibbidj/Rachel Buck	T&T	CT0257	0.00			0.00										0.00		0.00	Committed to fund the part-time travel plan coordinator. Funds drawn down in 15/14.
Gaseley Properties Ltd	Relating to G Park (Former ESAB) Millhouse Avenue Site. Linked to IP/04/0448. TYP01254	Erection of 3 buildings to provide a combined home deliveries (dot com) and express distribution centre (88) with associated vehicular maintenance building, gate house, vehicle fueling and washing facilities, van and staff parking, landscaping, service yard, service road, combined heating and power (3hp) plant and associated infrastructure (including sprinkler tank, pump house, switch rooms, fuel tanks, compactors and back-up generators, with access to staff parking from Millhouse Avenue)	23.11.10	Enfield Lock	Enfield North	128,777.00	15,777.00	NO DEADLINE	Green Travel Plan	Safiah Ibbidj/Rachel Buck	T&T																		Payments due if travel plan is not met after 3 years on expiry of each period of 3 yrs following implementation of TP, target has not been achieved. This is being investigated
Gaseley Properties Ltd	Relating to G Park (Former ESAB) Millhouse Avenue Site. Linked to IP/04/0448. TYP01254	Erection of 3 buildings to provide a combined home deliveries (dot com) and express distribution centre (88) with associated vehicular maintenance building, gate house, vehicle fueling and washing facilities, van and staff parking, landscaping, service yard, service road, combined heating and power (3hp) plant and associated infrastructure (including sprinkler tank, pump house, switch rooms, fuel tanks, compactors and back-up generators, with access to staff parking from Millhouse Avenue)	23.11.10	Enfield Lock	Enfield North	128,777.00	25,000.00	NO DEADLINE	Parking	David Taylor	T&T																		Parking payment is due after results of survey 6 months after commencement and following 3 years after occupation
Gaseley Properties Ltd	Relating to G Park (Former ESAB) Millhouse Avenue Site. Linked to IP/04/0448. TYP01254	Erection of 3 buildings to provide a combined home deliveries (dot com) and express distribution centre (88) with associated vehicular maintenance building, gate house, vehicle fueling and washing facilities, van and staff parking, landscaping, service yard, service road, combined heating and power (3hp) plant and associated infrastructure (including sprinkler tank, pump house, switch rooms, fuel tanks, compactors and back-up generators, with access to staff parking from Millhouse Avenue)	23.11.10	Enfield Lock	Enfield North	128,777.00	5,000.00	NO DEADLINE	Local Construction Employment Strategy Monitoring	Arona Loughlin	BED																		non necessary planning obligations
						128,777.00	128,777.00					35,487.94				35,487.94							124.80		35,422.74		35,422.74		

Developer	Site Address and Planning Reference	Development Description	Date Agreement Signed	Ward	Commitment	Total Financial Obligation	Obligation Split	NO DEADLINE - 100% of Project Cost - 100% of Obligations	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	COMMITMENT BALANCE Spilt - includes in year	SP RECEIPTS - for Work Done ON A CODES 14	SP COMMITMENTS ON A CODES	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance - After SAP Transactions	Other S186 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments			
A.C. Nicholas Ltd & Lloyds Bank	Land between 36 and 37 Peaton Green, Enfield NE2 7DE - TP/11/0080	Erection of two 2-story semi detached 3-bed houses with off street parking at front.	26.01.12	Highlands	Enfield North	10,300.00	500.00	NO DEADLINE	S186 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT008	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-			
TOTAL						10,500.00	10,500.00																									
Darn Regional Housing	Land Adjacent to 62/64 Station Road, Enfield EN5 5S - TP/11/1252	Erection of a detached 2-storey, 2-bed single family dwelling with off street parking and vehicular access to Station Road.	26.01.12	Enfield Highway	Enfield North	21,633.36	20,620.20	NO DEADLINE	Affordable Housing Contribution towards the off-site provision of affordable housing in the borough.	Sarah Carter	Development & Estates Renewal Council Homes	CT004	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	A DAR is being circulated to commit full balance towards the provision of additional affordable housing units on the New Avenue Estate Renewal project located in Southgate. The Council has now procured a development partner, a planning application has been submitted and is anticipated to be submitted in Dec 2015.		
TOTAL						21,633.36	1,030.16	NO DEADLINE	S186 Management Fee	Jo Woodward	STRATEGIC PLANNING																					
Darn Regional Housing	Land Adjacent to 62/64 Station Road, Enfield EN5 5S - TP/11/1252	Erection of a detached 2-storey, 3-bed single family dwelling with off street parking and vehicular access to Station Road.	26.01.12	Enfield Highway	Enfield North	21,633.36		NO DEADLINE	S186 Management Fee	Jo Woodward	STRATEGIC PLANNING	CT008	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
TOTAL						21,633.36	21,633.36																									
Johnson Matthey PLC	31, HEPFENS ROAD, ENFIELD, EN5 7PW P12-0280/PLA	Erection of a two-storey detached analytical laboratory building to south of site with a furnace and extract flues to approx. height of 2m.	25.02.13	Enfield Highway	Enfield North	58,335.00	53,010.00	NO DEADLINE	Carbon Fund Contribution to be paid to the Council as an contribution to the provision of a carbon fund in the Borough.	Rob Singleton	Development Management	CT008	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Lead officer has been notified and is considering local sustainability projects to apply monies towards, in line with Enfield 2020		
TOTAL						58,335.00	2,000.00	NO DEADLINE	Greenway Crossing Fee	Jonathan Goodson	T&T	CT036	2,001.37	-	-	-	-	-	-	-	-	-	-	-	-	-	-	2,008.45	Payment recently received and will be allocated to Greenways 15/16.			
Johnson Matthey PLC	31, HEPFENS ROAD, ENFIELD, EN5 7PW P12-0280/PLA	Erection of a two-storey detached analytical laboratory building to south of site with a furnace and extract flues to approx. height of 2m.	25.02.13	Enfield Highway	Enfield North	58,335.00		NO DEADLINE	Employment and Training Charge to ensure that the main contractor for the development shall use reasonable endeavours to employ four local apprentices	Anna Loughlin	BED	CT008	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S186 does not stipulate that details are required from the developer.		
Johnson Matthey PLC	31, HEPFENS ROAD, ENFIELD, EN5 7PW P12-0280/PLA	Erection of a two-storey detached analytical laboratory building to south of site with a furnace and extract flues to approx. height of 2m.	25.02.13	Enfield Highway	Enfield North	58,335.00	3,325.00	NO DEADLINE	Travel Plan Monitoring Fee	Safia Ishaq/Rachel Buck	T&T	CT008	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	2,008.45	Payment recently received and allocated to relevant department to consider projects. Contribution spent		
TOTAL						58,335.00	58,335.00						2,001.37	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	2,008.45			
Notting Hill Home Ownership Limited and Notting Hill Housing Trust	25-29 and 43-57, Telford Road, London, N13 9P1-0016/PLA	Demolition or existing properties and reconstruction of 20 new residential units with associated car parking and amenity spaces, comprising Site A (25-29 Telford Road) erection of a part 2, part 3, part 4, block of 12 units (2 x 3-bed maisonettes, 3 x 1-bed flats, 7 x 2-bed flats) with access to Peverary Avenue. Site B (43-49 Telford Road) erection of a part 2, part 3, part 4-story block of 15 units (3 x 3-bed maisonettes, 5 x 1-bed flats, 7 x 2-bed flats) with access to Beechill Road. Site C (51-57 Telford Road) erection of a part 2, part 3-story block of 15 units (3 x 3-bed maisonettes, 5 x 1-bed flats, 7 x 2-bed flats) with access to Beechill Road.	05.07.13	Southgate Green	Enfield North	119,366.00	80,643.00	Within 10 years of the receipt of payment (27.09.18)	Education to provide additional educational facilities within the Borough.	Keith Rowley	EDU	CT036	0.00	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	0.00	Allocated to works at Gasfield Primary School. Balance drawn down on 15/14.	
Notting Hill Home Ownership Limited and Notting Hill Housing Trust	25-29 and 43-57, Telford Road, London, N13 9P1-0016/PLA	Demolition or existing properties and reconstruction of 20 new residential units with associated car parking and amenity spaces, comprising Site A (25-29 Telford Road) erection of a part 2, part 3, part 4, block of 12 units (2 x 3-bed maisonettes, 3 x 1-bed flats, 7 x 2-bed flats) with access to Peverary Avenue. Site B (43-49 Telford Road) erection of a part 2, part 3, part 4-story block of 15 units (3 x 3-bed maisonettes, 5 x 1-bed flats, 7 x 2-bed flats) with access to Beechill Road. Site C (51-57 Telford Road) erection of a part 2, part 3-story block of 15 units (3 x 3-bed maisonettes, 5 x 1-bed flats, 7 x 2-bed flats) with access to Beechill Road.	05.07.13	Southgate Green	Enfield North	119,366.00	16,720.00	Within 10 years of the receipt of payment (27.09.18)	Open Space Contribution such improvements required to be carried out to maintain and/or enhance open space amenity as identified by the Council and necessary as a result of the development.	Matthew Watts	PARKS	CT037	-	-	-	-	-	-	-	-	-	825.00	-	15,908.00	-	16,763.00	-	52.81	52.81	0.00	0.00	Payment recently received and allocated to relevant department to consider projects.
Notting Hill Home Ownership Limited and Notting Hill Housing Trust	25-29 and 43-57, Telford Road, London, N13 9P1-0016/PLA	Demolition or existing properties and reconstruction of 20 new residential units with associated car parking and amenity spaces, comprising Site A (25-29 Telford Road) erection of a part 2, part 3, part 4, block of 12 units (2 x 3-bed maisonettes, 3 x 1-bed flats, 7 x 2-bed flats) with access to Peverary Avenue. Site B (43-49 Telford Road) erection of a part 2, part 3, part 4-story block of 15 units (3 x 3-bed maisonettes, 5 x 1-bed flats, 7 x 2-bed flats) with access to Beechill Road. Site C (51-57 Telford Road) erection of a part 2, part 3-story block of 15 units (3 x 3-bed maisonettes, 5 x 1-bed flats, 7 x 2-bed flats) with access to Beechill Road.	05.07.13	Southgate Green	Enfield North	119,366.00	N/A	Within 10 years of the receipt of payment (27.09.18)	Owners Construction Training Initiative	Anna Loughlin	BED	CT008	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S106 stipulates owner to use reasonable endeavours to incorporate CTT in its construction contract and to keep Council informed. To be pursued.	
Notting Hill Home Ownership Limited and Notting Hill Housing Trust	25-29 and 43-57, Telford Road, London, N13 9P1-0016/PLA	Demolition or existing properties and reconstruction of 20 new residential units with associated car parking and amenity spaces, comprising Site A (25-29 Telford Road) erection of a part 2, part 3, part 4, block of 12 units (2 x 3-bed maisonettes, 3 x 1-bed flats, 7 x 2-bed flats) with access to Peverary Avenue. Site B (43-49 Telford Road) erection of a part 2, part 3, part 4-story block of 15 units (3 x 3-bed maisonettes, 5 x 1-bed flats, 7 x 2-bed flats) with access to Beechill Road. Site C (51-57 Telford Road) erection of a part 2, part 3-story block of 15 units (3 x 3-bed maisonettes, 5 x 1-bed flats, 7 x 2-bed flats) with access to Beechill Road.	05.07.13	Southgate Green	Enfield North	119,366.00	22,000.00	Within 10 years of the receipt of payment (27.09.18)	Community Facility Contribution to be provided on Site 11 pursuant to planning application P12-0317/PLA.	Andrea Clemens (TBC)	COMMUNITY SAFETY		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	0	If facility is not provided, the developer will pay in lieu of this.
Notting Hill Home Ownership Limited and Notting Hill Housing Trust	25-29 and 43-57, Telford Road, London, N13 9P1-0016/PLA	Demolition or existing properties and reconstruction of 20 new residential units with associated car parking and amenity spaces, comprising Site A (25-29 Telford Road) erection of a part 2, part 3, part 4, block of 12 units (2 x 3-bed maisonettes, 3 x 1-bed flats, 7 x 2-bed flats) with access to Peverary Avenue. Site B (43-49 Telford Road) erection of a part 2, part 3, part 4-story block of 15 units (3 x 3-bed maisonettes, 5 x 1-bed flats, 7 x 2-bed flats) with access to Beechill Road. Site C (51-57 Telford Road) erection of a part 2, part 3-story block of 15 units (3 x 3-bed maisonettes, 5 x 1-bed flats, 7 x 2-bed flats) with access to Beechill Road.	05.07.13	Southgate Green	Enfield North	119,366.00	13	Within 10 years of the receipt of payment (27.09.18)	Affordable Housing Wheelchair units 6276 Agreement Car Park Management Plan	Sarah Carter	Development & Estates Renewal Council Homes		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	0	CPMP details to be submitted prior to first occupation.
TOTAL						119,366.00	119,366.00						16,762.99	-	-	-	-	-	-	-	-	825.00	15,938.00	16,763.00	-	52.81	52.81	0.01	-	0.00		
Notting Hill Home Ownership Limited	Relating to the development of Caranhatch Lane Depot 7 Mating Drive P13-0127/PLA	Redevelopment of site for residential purposes to provide 150 residential units involving demolition of existing buildings and erection of 76 self contained units in five 4-storey blocks comprising Block A (6 x 1-bed and 20 x 2-bed), Block B (5 x 1-bed and 7 x 2-bed), Block D (2 x 1-bed and 6 x 2-bed), Block H (5 x 1-bed, 3 x 2-bed and 3 x 3-bed) and Block N (7 x 1-bed, 7 x 2-bed and 7 x 3-bed).	25.10.13	Chase	Enfield North	999,618.32	Non Monetary	Non monetary	Affordable Housing	Sarah Carter	Development & Estates Renewal Council Homes		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Non monetary obligation		
Notting Hill Home Ownership Limited	Relating to the development of Caranhatch Lane Depot 7 Mating Drive P13-0127/PLA	Redevelopment of site for residential purposes to provide 150 residential units involving demolition of existing buildings and erection of 76 self contained units in five 4-storey blocks comprising Block A (6 x 1-bed and 20 x 2-bed), Block B (5 x 1-bed and 7 x 2-bed), Block D (2 x 1-bed and 6 x 2-bed), Block H (5 x 1-bed, 3 x 2-bed and 3 x 3-bed) and Block N (7 x 1-bed, 7 x 2-bed and 7 x 3-bed).	25.10.13	Chase	Enfield North	999,618.32		Non monetary	Parking Management Plan	Dominic Milen	T&T		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Submit details of CPMP within 9 months of commencement of development and in respect of site to be occupied.		
Notting Hill Home Ownership Limited	Relating to the development of Caranhatch Lane Depot 7 Mating Drive P13-0127/PLA	Redevelopment of site for residential purposes to provide 150 residential units involving demolition of existing buildings and erection of 76 self contained units in five 4-storey blocks comprising Block A (6 x 1-bed and 20 x 2-bed), Block B (5 x 1-bed and 7 x 2-bed), Block D (2 x 1-bed and 6 x 2-bed), Block H (5 x 1-bed, 3 x 2-bed and 3 x 3-bed) and Block N (7 x 1-bed, 7 x 2-bed and 7 x 3-bed).	25.10.13	Chase	Enfield North	999,618.32		Non monetary	Employment and Skills Strategy	Anna Loughlin	BED		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Within 8 weeks of this deed to submit details of the E&S strategy. This has not been received and is being pursued.		
Notting Hill Home Ownership Limited	Relating to the development of Caranhatch Lane Depot 7 Mating Drive P13-0127/PLA	Redevelopment of site for residential purposes to provide 150 residential units involving demolition of existing buildings and erection of 76 self contained units in five 4-storey blocks comprising Block A (6 x 1-bed and 20 x 2-bed), Block B (5 x 1-bed and 7 x 2-bed), Block D (2 x 1-bed and 6 x 2-bed), Block H (5 x 1-bed, 3 x 2-bed and 3 x 3-bed) and Block N (7 x 1-bed, 7 x 2-bed and 7 x 3-bed).	25.10.13	Chase	Enfield North	999,618.32	818,618.32	Within 10 years of the receipt of payment (12.02.2024)	Education Contribution to provide educational facilities within Enfield as a consequence of the development.	Keith Rowley	EDU		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Prior to occupation - payment not received as yet	
Notting Hill Home Ownership Limited	Relating to the development of Caranhatch Lane Depot 7 Mating Drive P13-0127/PLA	Redevelopment of site for residential purposes to provide 150 residential units involving demolition of existing buildings and erection of 76 self contained units in five 4-storey blocks comprising Block A (6 x 1-bed and 20 x 2-bed), Block B (5 x 1-bed and 7 x 2-bed), Block D (2 x 1-bed and 6 x 2-bed), Block H (5 x 1-bed, 3 x 2-bed and 3 x 3-bed) and Block N (7 x 1-bed, 7 x 2-bed and 7 x 3-bed).	25.10.13	Chase	Enfield North	999,618.32	30,000.00	Within 10 years of the receipt of payment (12.02.2024)	Highways & Greenways Contribution	Jonathan Goodson	T&T	CT038	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	10,061.83	Remaining balance due on occupation. Monies to be allocated to Greenways 15/16.	
Notting Hill Home Ownership Limited	Relating to the development of Caranhatch Lane Depot 7 Mating Drive P13-0127/PLA	Redevelopment of site for residential purposes to provide 150 residential units involving demolition of existing buildings and erection of 76 self contained units in five 4-storey blocks comprising Block A (6 x 1-bed and 20 x 2-bed), Block B (5 x 1-bed and 7 x 2-bed), Block D (2 x 1-bed and 6 x 2-bed), Block H (5 x 1-bed, 3 x 2-bed and 3 x 3-bed) and Block N (7 x 1-bed, 7 x 2-bed and 7 x 3-bed).	25.10.13	Chase	Enfield North	999,618.32	110,000.00	Within 10 years of the receipt of payment (12.02.2024)	Play Space Contribution to provide additional offsite play space in the Borough of Enfield as a result of the development.	Matthew Watts	PARKS		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Prior to occupation	
Notting Hill Home Ownership Limited	Relating to the development of Caranhatch Lane Depot 7 Mating Drive P13-0127/PLA	Redevelopment of site for residential purposes to provide 150 residential units involving demolition of existing buildings and erection of 76 self contained units in five 4-storey blocks comprising Block A (6 x 1-bed and 20 x 2-bed), Block B (5 x 1-bed and 7 x 2-bed), Block D (2 x 1-bed and 6 x 2-bed), Block H (5 x 1-bed, 3 x 2-bed and 3 x 3-bed) and Block N (7 x 1-bed, 7 x 2-bed and 7 x 3-bed).	25.10.13	Chase	Enfield North	999,618.32	3,500.00	Within 10 years of the receipt of payment (12.02.2024)	Travel Plan Plan Monitoring Fee	Safia Ishaq/Rachel Buck	T&T		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	within 6 months of commencement of development - December 2015	
Notting Hill Home Ownership Limited	Relating to the development of Caranhatch Lane Depot 7 Mating Drive P13-0127/PLA	Redevelopment of site for residential purposes to provide 150 residential units involving demolition of existing buildings and erection of 76 self contained units in five 4-storey blocks comprising Block A (6 x 1-bed and 20 x 2-bed), Block B (5 x 1-bed and 7 x 2-bed), Block D (2 x 1-bed and 6 x 2-bed), Block H (5 x 1-bed, 3 x 2-bed and 3 x 3-bed) and Block N (7 x 1-bed, 7 x 2-bed and 7 x 3-bed).	25.10.13	Chase	Enfield North	999,618.32	37,500.00	Within 10 years of the receipt of payment (12.02.2024)	S186 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT008	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
TOTAL						999,618.32	999,618.32						10,068.83	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	10,061.83		
James Fisher O'Donovan	182 Green Street Enfield EN3 7JP - 00018/PLA	Demolition of part ground floor and first floor rear extension, increase in height of rear extension and subdivision of first floor flat into 2 self-contained beds involving new entrance at front.	21.01.13	Enfield Highway	Enfield North	1,871.48		10 years from the date of receipt (17.10.24)	Affordable Housing Contribution towards the off-site provision of affordable housing in the borough.	Sarah Carter	Development & Estates Renewal Council Homes		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	0	0	Cheque received on 18.08.14.	
James Fisher O'Donovan	182 Green Street Enfield EN3 7JP - 00018/PLA	Demolition of part ground floor and first floor rear extension, increase in height of rear extension and subdivision of first floor flat into 2 self-contained beds involving new entrance at front.	21.01.13	Enfield Highway	Enfield North	1,717.34	603.99	10 years from the date of receipt (17.10.24)	Education Contribution towards the provision of educational facilities within the Borough registered as a consequence of the scheme.	Keith Rowley	EDU	CT038	-	625.77	-	-	-	-	-	-	-	-	-	-	-	-	-	-	0	0	Cheque received on 18.08.14.	
James Fisher O'Donovan	182 Green Street Enfield EN3 7JP - 00018/PLA	Demolition of part ground floor and first floor rear extension, increase in height of rear extension and subdivision of first floor flat into 2 self-contained beds involving new entrance at front.	21.01.13	Enfield Highway	Enfield North	81.77		10 years from the date of receipt (17.10.24)	S186 Monitoring Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT008	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	0	0	PAID	
TOTAL						1,717.16	1,717.16						625.77	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	10,071.86			
Seedwell Ltd	The Rilles P11 600, Osbourne Road, Alford, East Lindsey, Lincolnshire LN25 7DF - TP/08/2169/RSN1 ENFIELD LOCK	Redevelopment of site for residential purposes (installing 23 units) with associated access, car parking, ramping and amenity spaces by the partial demolition and conversion of The Rilles Public House into 9 self-contained flats (comprising 4 x 2-bed, 3 x 1-bed, 1 x studio) involving single-storey extensions, installation of 2 dormer windows to front, balconies at rear first floor level and rear entrance ramp; erection of a terrace of eight 3-bed 2-storey houses; erection of a terrace of five x 3-bed 2-storey houses and erection of a detached 3-storey 4-bed house.	15.05.06 06.05.2011	Enfield Lock		36,000.00		No Threshold	Education Contribution	Keith Rowley	EDU	CT030	-	36,000.00	-	-	-	-	-	-	-	36,000.00	36,000.00	-	-</							

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Compliance	Total financial obligation	Obligation split	STATUS - DEADLINE - (if applicable) - (ED + EBT) - (if applicable) - (ED + EBT)	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	COPIED BALANCE split - (includes in year)	CONTRIBUTOR (if not on codes 14 - 16)	COMMITMENTS ON A CODES	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance After SAP Transactions	Other S106 Commitments (not yet on SAP - SM)	Available Uncommitted Amount - SM	Comments
John Burgess	388 Southbury Road, Enfield ENG AJJ	Subdivision of site and extension to side of 388 Southbury Road to form 1 x 2-bed end of terrace house with off street parking at rear and vehicle access to site.	21.02.14	Ponders End		20,055.00	16,300.00	No deadline	Affordable Housing Contribution towards the off-site provision of affordable housing in the borough	Sarah Carter	HOUSING	CT0304	PLEASE SEE AFFORDABLE HOUSING TAB																
John Burgess	388 Southbury Road, Enfield ENG AJJ	Subdivision of site and extension to side of 388 Southbury Road to form 1 x 2-bed end of terrace house with off street parking at rear and vehicle access to site.	21.02.14	Ponders End		20,055.00	2,940.00	No deadline	Mayor's Community Infrastructure Levy		TTL																		
John Burgess	388 Southbury Road, Enfield ENG AJJ	Subdivision of site and extension to side of 388 Southbury Road to form 1 x 2-bed end of terrace house with off street parking at rear and vehicle access to site.	21.02.14	Ponders End		20,055.00	815.00	No deadline	S106 Management Fee	Jo Woodward	R&E		STRATEGIC PLANNING AND DESIGN																
TOTALS						20,055.00	20,055.00																						
Kiar Project Investment Ltd	Jasper Close - Seven housing sites P13-02590LBE	Erection of 18 residential units in 2 blocks	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	180,604.40	68,965.60	Within 5 years of receiving payment (Nov 2015)	Education to provide additional educational facilities within the Borough	Keith Rowley	EDU					0										0		Invoice issued 06.05.15 for education and childcare contributions	
Kiar Project Investment Ltd	Jasper Close - Seven housing sites P13-02590LBE	Erection of 18 residential units in 2 blocks	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)			Non-monetary	Affordable Housing	Sarah Carter	Development & Estates Renewal Council Homes					0										0			
Kiar Project Investment Ltd	Jasper Close - Seven housing sites P13-02590LBE	Erection of 18 residential units in 2 blocks	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	180,604.40	5,638.80	Within 5 years of receiving payment (Nov 2015)	Childcare Contribution	TBC	TBC					0										0		Invoice issued 06.05.15 for education and childcare contributions	
Kiar Project Investment Ltd	Jasper Close - Seven housing sites P13-02590LBE	Erection of 18 residential units in 2 blocks	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	180,604.40	106,000.00	Within 5 years of receiving payment (Nov 2015)	Highways Contribution (see comments)	Mick Pond	T&T	CT0390		-100000		-100000							-155.3		-106155.3	106000	-155.3	HIGHWAYS CONTRIBUTIONS PAID NOV 2014 - 15k for junction improvement at Barmby Road/Paragon Lane, 15k for junction improvement at Barmby Road/Paragon Lane, 27.5k for removal of 3 crossovers, footpath works & install 3 new crosswalks. To remove two existing crosswalks and reconfigure footpath.	
TOTALS						180,604.40	180,604.40							-100000		-100000							-155.3		-106155.3	106000	-155.3		
Kiar Project Investment Ltd	Parsonage Lane - Seven housing sites P13-02588LBE	Erection of 29 residential units in 4 blocks	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	254,267.30	182,216.27	Within 5 years of receiving payment (Nov 2015)	Education to provide additional educational facilities within the Borough	Keith Rowley	EDU					0										0	0		
Kiar Project Investment Ltd	Parsonage Lane - Seven housing sites P13-02588LBE	Erection of 29 residential units in 4 blocks	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	254,267.30	60395.56	Within 5 years of receiving payment (Nov 2015)	Highways Contribution (see comments)	Mick Pond	T&T	CT0391		-60395.56		-60395.56							-88.5		-60484.06	60395.56		HIGHWAYS CONTRIBUTIONS PAID NOV 2014 - 15,895.56 for junction improvement at Chase Side Ave/Parsonage Lane; 37.5k for removal of 3 crosswalks, footpath works & install 3 new crosswalks. £3k for provision of 8 tree pits and tree planting	
Kiar Project Investment Ltd	Parsonage Lane - Seven housing sites P13-02588LBE	Erection of 29 residential units in 4 blocks	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	254,267.30		Non-monetary	Employment (NOTE: This applies across the 7 small sites)	Gein Redman	BED					0									0	0		Works should not begin until the Employment Training Strategy is submitted & approved in writing by the Council. Developer to provide 10 Apprenticeships on site across the whole project. 10 to be safeguarded in other sites which the developer is working on & work experience placements.	
Kiar Project Investment Ltd	Parsonage Lane - Seven housing sites P13-02588LBE	Erection of 29 residential units in 4 blocks	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	254,267.30	11,655.47	Within 5 years of receiving payment (Nov 2015)	Childcare Contribution	TBC	TBC					0									0	0			
Kiar Project Investment Ltd	Parsonage Lane - Seven housing sites P13-02588LBE	Erection of 29 residential units in 4 blocks	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	254,267.30		Non-monetary	Affordable Housing	Sarah Carter	Development & Estates Renewal Council Homes					0									0	0			
TOTALS						254,267.30	254,267.30							-60395.56		-60395.56							-88.5		-60484.06	60395.56	0		
Kiar Project Investment Ltd	Fury Hill - Seven Housing Sites P13-02587LBE	Demolition of existing building and erection of 1x block of 9 residential units	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	98,997.76	89,177.76	Within 5 years of receiving payment (Nov 2015)	Education to provide additional educational facilities within the Borough	Keith Rowley	EDU																	0	Invoice issued 29.04.2015
Kiar Project Investment Ltd	Fury Hill - Seven Housing Sites P13-02587LBE	Demolition of existing building and erection of 1x block of 9 residential units	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	98,997.76	9,820.00	Within 5 years of receiving payment (Nov 2015)	Highways Contribution (See notes)	Mick Pond	T&T	CT0392		-9820		-9820							-14.4		-9834.4		-9834.4	HIGHWAYS CONTRIBUTIONS PAID NOV 2014 - £2540 for stopping up costs, £7380 to install a crossover and footway.	
TOTALS						98,997.76	98,997.76							-9820		-9820							-14.4		-9834.4	0	-9834.4		
Kiar Project Investment Ltd	Holmes Hill - Seven Housing Sites P13-02586PLE	Erection of 3 blocks of residential units	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	51,847.82		Non-monetary	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development.	Sarah Carter	Development & Estates Renewal Council Homes																		
Kiar Project Investment Ltd	Holmes Hill - Seven Housing Sites P13-02586PLE	Erection of 3 blocks of residential units	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	51,847.82	25,000.00	Within 5 years of receiving payment (Nov 2015)	Highways Contribution (see comments)	Mick Pond	T&T	CT0393		-25000		-25000							-36.65		-25036.65		-25036.65	HIGHWAYS CONTRIBUTION PAID NOV 2014 - £25k for junction improvement at Holmes Hill & Greenway	
Kiar Project Investment Ltd	Holmes Hill - Seven Housing Sites P13-02586PLE	Erection of 3 blocks of residential units	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	51,847.82	4,500.00	Within 5 years of receiving payment (Nov 2015)	Play Equipment Contribution	TBC	PARKS																		
Kiar Project Investment Ltd	Holmes Hill - Seven Housing Sites P13-02586PLE	Erection of 3 blocks of residential units	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	51,847.82	22,447.82	Within 5 years of receiving payment (Nov 2015)	Education Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Keith Rowley	EDU					-25000							-36.65		-25036.65		-25036.65	Upon commencement of development	
TOTALS						51,847.82	51,847.82							-25000		-25000							-36.65		-25036.65	0	-25036.65		
Kiar Project Investment Ltd	Laurel Hill - Seven Housing Sites P13-02583PLE	Erection of 1x residential block containing 12 flats	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	33,146.08	10011.8	Within 5 years of receiving payment (Nov 2015)	Education Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development.	Keith Rowley	EDU																		Invoice issued 06.05.15 for Education & Childcare contributions
Kiar Project Investment Ltd	Laurel Hill - Seven Housing Sites P13-02583PLE	Erection of 1x residential block containing 12 flats	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	33,146.08	12,209.00	Within 5 years of receiving payment (Nov 2015)	CCTV Contribution	Alan Gardner	COMMUNITY SAFETY	CT0397		-12209		-12209							-17.9		-12226.9		-12226.9	PAID NOV 2014 - For CCTV at Laurel Hill part of scheme	
Kiar Project Investment Ltd	Laurel Hill - Seven Housing Sites P13-02583PLE	Erection of 1x residential block containing 12 flats	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	33,146.08	2600	Within 5 years of receiving payment (Nov 2015)	Highways Contribution (see comments)	Mick Pond	T&T	CT0394		-2600		-2600							-3.8		-2603.8		-2603.8	HIGHWAYS CONTRIBUTION PAID NOV 2014 - £2000 for waiting restrictions at Blossom Lane, 600 towards the gateway route	
Kiar Project Investment Ltd	Laurel Hill - Seven Housing Sites P13-02583PLE	Erection of 1x residential block containing 12 flats	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	33,146.08	2,325.28	Within 5 years of receiving payment (Nov 2015)	Childcare Contribution	TBC	EDU														0	0			
Kiar Project Investment Ltd	Laurel Hill - Seven Housing Sites P13-02583PLE	Erection of 1x residential block containing 12 flats	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	33,146.08		Non-monetary	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development.	Sarah Carter	Development & Estates Renewal Council Homes															0	0		
TOTALS						33,146.08	33,146.08							-14809		-14809							-31.7		-14830.7	0	-14830.7		
Kiar Project Investment Ltd	St George's Road - Seven Housing Sites P13-02584PLE	Erection of 1x residential block containing 3 x 4 bed homes	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	42726.93 (this site only)	34226.93	Within 5 years of receiving payment (Nov 2015)	Education Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development.	Keith Rowley	EDU																	Invoice issued 29.04.15 for Education contributions	
Kiar Project Investment Ltd	St George's Road - Seven Housing Sites P13-02584PLE	Erection of 1x residential block containing 3 x 4 bed homes	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	42726.93 (this site only)	40,641.64	Within 5 years of receiving payment (Nov 2015)	S106 Monitoring Fee (see Comments)	Jo Woodward	R&E																	Applies across the whole of the 'Seven Sites', which are being developed as one project	
Kiar Project Investment Ltd	St George's Road - Seven Housing Sites P13-02584PLE	Erection of 1x residential block containing 3 x 4 bed homes	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	42726.93 (this site only)	8,500.00	Within 5 years of receiving payment (Nov 2015)	Highways Contribution (see comments)	Mick Pond	T&T	CT0395		-8500		-8500							-12.45		-8512.45		-8512.45	HIGHWAYS CONTRIBUTIONS PAID NOV 2014 £9,500 for installation of 3 crosswalks	
TOTALS						42726.93	42726.93							-8500		-8500							-12.45		-8512.45	0	-8512.45		
Kiar Project Investment Ltd	Tutor Crescent - Seven Housing Sites P13-02589LBE	Erection of 15 residential units in 2 blocks	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	101,143.04	67,153.82	Within 5 years of receiving payment (Nov 2015)	Education Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development.	Keith Rowley	EDU																	Invoice issued 07.05.15 for Education & Childcare contributions	
Kiar Project Investment Ltd	Tutor Crescent - Seven Housing Sites P13-02589LBE	Erection of 15 residential units in 2 blocks	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	101,143.04		Non-monetary	Affordable Housing Contribution	Sarah Carter	Development & Estates Renewal Council Homes																		
Kiar Project Investment Ltd	Tutor Crescent - Seven Housing Sites P13-02589LBE	Erection of 15 residential units in 2 blocks	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	101,143.04	5,464.42	Within 5 years of receiving payment (Nov 2015)	Childcare Contribution	TBC	EDU																		
Kiar Project Investment Ltd	Tutor Crescent - Seven Housing Sites P13-02589LBE	Erection of 15 residential units in 2 blocks	17.09.14	TBC (as per S106 Team)	TBC (as per S106 Team)	101,143.04	28,525.00	Within 5 years of receiving payment (Nov 2015)	Highways Contribution (see comments)	Mick Pond	T&T	CT0396		-28525		-28525							-41.8		-29566.8		-29566.8	HIGHWAYS CONTRIBUTIONS PAID NOV 2014 £15625 for crossover along Blossom Lane - 10900 for footpath linking Blossom Lane to Tutor Crescent; 2000 to install on-street waiting restrictions for access/crosswalks	
TOTALS						101,143.04	101,143.04							-28525		-28525							-41.8		-29566.8	0	-29566.8		
ARK Schools	52 Bell Lane ENG 75A P13-0220PLA	Use of existing school site and existing school buildings for an all through school (30 place Nursery, 3FE Primary School, 4FE Secondary School and 300 place Sixth Form), involving partial demolition of inner court buildings, D & E block, sixth form centre and toilet block to the west and erection of a two storey extension to the north west elevation to provide new primary school entrance, nursery and hall; 2-storey extension to the south elevation to provide a link teaching block, a 2-storey teaching block within the existing courtyard, extension to front to provide new entrance, access to site, landscaping works throughout.	24.03.2014	Enfield North		112,350.00	50,000.00	Within 10 years of receipt of payment (Nov 2024)	CCTV Contribution towards the provision and cost of a fixed closed circuit television camera in entrance and monitor the parking restrictions on Bell Lane.	Alan Gardner	COMMUNITY SAFE	CT0398		-50000		-50000							-73.25		-50073.25		-50073.25	Within 3 months of commencement of development - payment received 20/11/14	
ARK Schools	52 Bell Lane ENG 75A P13-0220PLA	Use of existing school site and existing school buildings for an all through school (30 place Nursery, 3FE Primary School, 4FE Secondary School and 300 place Sixth Form), involving partial demolition of inner court buildings, D & E block, sixth form centre and toilet block to the west and erection of a two storey extension to the north west elevation to provide new primary school entrance, nursery and hall; 2-storey extension to the south elevation to provide a link teaching block, a 2-storey teaching block within the existing courtyard, extension to front to provide new entrance, access to site, landscaping works throughout.	24.03.2014	Enfield North		112,350.00	40,000.00	Within 10 years of receipt of payment (Nov 2024)	Pedestrian Crossing Works Contribution towards the cost of providing a pedestrian crossing & Pedestrian Crossing Works Annual Assessment Report	Liam Mulrooney	T&T															0	0	payment to be received within 30 days of receipt of the report.	
ARK Schools	52 Bell Lane ENG 75A P13-0220PLA	Use of existing school site and existing school buildings for an all through school (30 place Nursery, 3FE Primary School, 4FE Secondary School and 300 place Sixth Form), involving partial demolition of inner court buildings, D & E block, sixth form centre and toilet block to the west and erection of a two storey extension to the north west elevation to provide new primary school entrance, nursery and hall; 2-storey extension to the south elevation to provide a link teaching block, a 2-storey teaching block within the existing courtyard, extension to front to provide new entrance, access to site, landscaping works throughout.	24.03.2014	Enfield North		112,350.00	10,000.00	Within 10 years of receipt of payment (Nov 2024)	Pedestrian Crossing Works Contribution towards the cost of pedestrian improvement works (to the walking route to the site identified in the PERC audit) but does not include the cost of the PERC audit	Liam Mulrooney	T&T															0	0	Within 2 months of commencement of	

Developer	Site Address and Planning Reference	Development Description	Date Agreement Signed	Ward	Commitment	Total Financial Obligation	Obligation Split	SPEND DEADLINE - BEH - FROM COMPLETION OF PERMITS	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	CURRENT BALANCE Spent (includes in year)	HOW MUCH SPENT ON A CODES 14	HOW MUCH COMMITTED ON A CODES	Quater 1 Drawdown	Quater 2 Drawdown	Quater 3 Drawdown	Quater 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance After SAP Transactions	Other S106 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments	
ARK Schools	52 Bell Lane ENG TSA P13-0220PLA	Use of existing school site and existing school buildings for an all through school (30 place Nursery, 356 Primary School, 156 Secondary School and 200 place Sixth Form), involving partial demolition of inner court buildings, D & T block, sixth form centre and toilet block to the west and erection of a two storey extension to the north / west elevation to provide new primary school entrance, nursery and hall, 2-storey extension to the south elevation to provide a link teaching block, a 2-storey teaching block within the existing courtyard, extension to front to provide new entrance, canopy to side, wheelchair access throughout.	24.03.2014	TBC (as per S106 Team)	Enfield North	112,300.00	3,600.00	Within 10 years of receipt of payment (Nov 2014)	School Travel Plan + Fee	TBC	T&T																	0	Prior to occupation	
ARK Schools	52 Bell Lane ENG TSA P13-0220PLA	Use of existing school site and existing school buildings for an all through school (30 place Nursery, 356 Primary School, 156 Secondary School and 200 place Sixth Form), involving partial demolition of inner court buildings, D & T block, sixth form centre and toilet block to the west and erection of a two storey extension to the north / west elevation to provide new primary school entrance, nursery and hall, 2-storey extension to the south elevation to provide a link teaching block, a 2-storey teaching block within the existing courtyard, extension to front to provide new entrance, canopy to side, wheelchair access throughout.	24.03.2014	TBC (as per S106 Team)	Enfield North	112,300.00		Within 10 years of receipt of payment (Nov 2014)	Access and Traffic Management Plan	TBC																		0	Prior to occupation	
ARK Schools	52 Bell Lane ENG TSA P13-0220PLA	Use of existing school site and existing school buildings for an all through school (30 place Nursery, 356 Primary School, 156 Secondary School and 200 place Sixth Form), involving partial demolition of inner court buildings, D & T block, sixth form centre and toilet block to the west and erection of a two storey extension to the north / west elevation to provide new primary school entrance, nursery and hall, 2-storey extension to the south elevation to provide a link teaching block, a 2-storey teaching block within the existing courtyard, extension to front to provide new entrance, canopy to side, wheelchair access throughout.	24.03.2014	TBC (as per S106 Team)	Enfield North	112,300.00	5,850.00	Within 10 years of receipt of payment (Nov 2014)	S106 Management Fee	Jo Woodward	Strategic Planning & Design																	0	Payment received 20/11/14.	
TOTALS						112,300.00	112,300.00							-5300	0	-5300	0	0	0	0	0	0	0	0	-77.65	0	-5307.65	-5307.65		
Kenneth Peck	Ganges at Roder Road to the rear of 41-50 Midleton Avenue EN1 3RB TP11 1000	Erection of 2 x 3 - bed semi detached single family dwellings with off street parking and boundary wall.	20.08.2013	Town	Enfield North	37,254.00	35,480.00	Within 10 years of the date of payment	Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HIAASC																		Prior to commencement of development - Invoice issued 14/11/2014	
Kenneth Peck	Ganges at Roder Road to the rear of 41-50 Midleton Avenue EN1 3RB TP11 1000	Erection of 2 x 3 - bed semi detached single family dwellings with off street parking and boundary wall.	20.08.2013	Town	Enfield North	37,254.00	1,774.00		S106 Monitoring Fee	Jo Woodward	Strategic Planning & Design																	Upon completion of the agreement - PAID		
TOTALS						37,254.00	37,254.00																							
Michael Dennis McCarthy	Public House 13 Turkey Street EN8 5TT	Conversion of ground floor into 2 x 2 bed self contained flats, alterations to first floor residential accommodation to provide a 3 bed flat involving a single storey rear extension, pitched roof to ground floor and part first floor at rear and off street parking at front.	30.01.2013	Turkey Street	Enfield North	14,387.56	10,000.00	No Deadline	Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	Development & Estate Renovation Council Homes																		PAID IN FULL 02/01/2014	
						14,387.56	27,592.96	No Deadline	Overage Threshold CM1000	Sarah Carter	Development & Estate Renovation Council Homes																			PAID 27 JAN 2015. Funds transferred to department for project identification
						14,387.56	3,711.96	No Deadline	Education Contribution to provide educational facilities within Enfield as a consequence of the development	Keith Rowley	EDU																			PAID 27 JAN 2015. Funds transferred to department for project identification
						14,387.56	665.60	No Deadline	S106 Monitoring Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN																			
TOTALS					41,890.52	41,890.52																								
A&M London Dev. Limited	Silver Street, Enfield Town TP08/1733 TOWN	Erection of a part 4, part 5-storey building comprising 3 commercial units to ground floor with 14 self-contained residential units above (1 x studio, 2 x 1-bed, 9 x 2-bed and 2 x 3 bed) with associated cycle and car parking and servicing area to rear. Agreement signed 08.12.08	08.12.2008	Town	Enfield North	51,500.00	1,500.00	No Deadline	Security Contribution towards investigation into installing CCTV cameras and advocating/removing plant equipment located within the footway of the land & to pay actual costs of installing x 2 payments	Alan Gardner	COMMUNITY SAFETY	CT0409		-1500														PAID 26 NOV 2014. Funds transferred to department for project identification		
A&M London Dev. Limited	Silver Street, Enfield Town TP08/1733 TOWN	Erection of a part 4, part 5-storey building comprising 3 commercial units to ground floor with 14 self-contained residential units above (1 x studio, 2 x 1-bed, 9 x 2-bed and 2 x 3 bed), associated cycle and car parking and servicing area to rear. Agreement signed 08.12.08	08.12.2008	Town	Enfield North	51,500.00	50,000.00	No Deadline	Open Space Contribution towards improvement of existing open space within the vicinity of the development	Mat Watts	PARKS																	PAID 26 NOV 2014. Funds transferred to department for project identification		
TOTALS						51,500.00	51,500.00							0	-1500	-1500														
Ozcan Hasan & Samantha Walsh	76 Park Road Enfield Middlesex EN3 8LP TP11 10548	Erection of 1 x 4 bed attached single family dwelling with amenity space.	26.06.12	Enfield Lock	Enfield North	30,162.00	28,625.00	Within 5 years of the date of payment	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	Development & Estate Renovation Council Homes																		Legal action to follow due to non-payment	
Ozcan Hasan & Samantha Walsh			26.06.12	Enfield Lock	Enfield North	30,162.00	1,537.00	Within 5 years of the date of payment	S106 Monitoring Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303																	PAID JULY 2012	
TOTALS						30,162.00	30,162.00																							
Peter George Martin Smith, Keith Rowley Picking and NSS Trustees Ltd	Albany House 1-5 Albany Road Enfield EN3 8JH		16.05.14			3,431.00	3,431.00		Travel Plan	Anna Jakubka																			Travel Plan Monitoring Fee received 03.10.14	
TOTALS						3,431.00	3,431.00		Travel Plan Monitoring Fee	Anna Jakubka		CT0307																	Contribution Spent	
A&M London Dev. Limited	Silver Street, Enfield Town TP08/1733 TOWN	Erection of a part 4, part 5-storey building comprising 3 commercial units to ground floor with 14 self-contained residential units above (1 x studio, 2 x 1-bed, 9 x 2-bed and 2 x 3 bed), associated cycle and car parking and servicing area to rear. Agreement signed 08.12.08	08.12.08	Town	Enfield North	51,500.00	1,500.00	No Deadline	Security Contribution towards investigation into installing CCTV cameras and advocating/removing plant equipment located within the footway of the land & to pay actual costs of installing x 2 payments	Alan Gardner	COMMUNITY SAFETY																		PAID Nov 2014. Funds awaiting allocation	
A&M London Dev. Limited	Silver Street, Enfield Town TP08/1733 TOWN	Erection of a part 4, part 5-storey building comprising 3 commercial units to ground floor with 14 self-contained residential units above (1 x studio, 2 x 1-bed, 9 x 2-bed and 2 x 3 bed), associated cycle and car parking and servicing area to rear. Agreement signed 08.12.08	08.12.08	Town	Enfield North	51,500.00	50,000.00	No Deadline	Open Space Contribution towards improvement of existing open space within the vicinity of the development	Mat Watts	PARKS	CT0306		-51500	1500	-50000								-75.01	-50075.01	-50075.01		PAID Nov 2014. Funds awaiting allocation		
TOTALS						51,500.00	51,500.00							-51500	1500	-50000								-75.01	-50075.01	-50075.01				
Scottish Widows Unit Funds Limited	312 Coast Cambridge Road, Enfield EN1 1TY P12-0264PLA	Demolition of existing retail unit and erection of new retail unit with associated servicing area, reconfiguration of existing 3 car parks into one and closure of an access route to Coast Cambridge Road.	20.01.13	Southbury	Enfield North	5,000.00	NO DEADLINE	Green Ways Cycle Route Contribution to the provision of the Green Ways Cycle Route in the Borough of Enfield	Liam Mulrooney	T&T	CT0400			-5,039		-5,039											-5.041		PAID 25 Feb 2015. Awaiting allocation	
						8,741.25	3,325.00	NO DEADLINE	Travel Plan Monitoring	Mike Heyland	T&T	CT0307																		PAID 25 Feb 2015. Awaiting allocation
						416.25	NO DEADLINE	S106 Monitoring Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0305																			
TOTALS					8,741.25	8,741.25							-5,039	0	-5,039	0	0	0	0	0	0	0	0	-1.48	-5,041	-5,041				
Anglia Secure Homes (South East) Limited	Relating to Land at Waterloo House 25 Essex Road Enfield EN1 1NU P12-0102PLA	Conversion of existing building into 36 residential units (comprising 9 x 1-bed, 24 x 2-bed and 3 x 3-bed) involving construction of a fourth floor with terraces to front and rear, formation of balconies to front, sides and rear, external cladding and replacement windows to all elevations and pedestrian access ramps to front and side.	26.02.13	Southbury	Enfield North	188,924.48	70,703.31	Within 10 years of the receipt of payment	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	EDU	CT0383		-73073.41		-73073.41													Index-linked amount of £73,073.41 paid 4 July 2014. Spent during 14/15	
TOTALS						188,924.48	74,066.68		Affordable Housing Provision (30 Units)	HIAASC																		0		
TOTALS						188,924.48	74,066.68		S106 Monitoring Fee	R&E	CT0303																	PAID		
Salmon Harvester Properties Limited	Plot 1, Innoval Park, Enfield, EN9 7XV TP101362	Redevelopment of site for industrial / warehouse purposes (OUTLINE with all matters reserved).	31.05.11	ENFIELD LOCK	Enfield North	18,000.00	5,000.00	None Specified	Highways Contribution towards off site highways works and the implementation of waiting restrictions at junctions within the vicinity	R&E	T&T	CT0405		-5447.95		-5447.95									-1.5	-5448.55	-5448.55	PAYMENT RECEIVED 16/01/15 and transferred to department		
Salmon Harvester Properties Limited	Plot 1, Innoval Park, Enfield, EN9 7XV TP101362	Redevelopment of site for industrial / warehouse purposes (OUTLINE with all matters reserved).	31.05.11	ENFIELD LOCK	Enfield North	18,000.00	10,000.00	None Specified	Landscaping Contribution in respect of provision of off site landscaping	R&E	PARKS	CT0406		-10895.91		-10895.91									-3.19	-10899.1	-10899.1	PAYMENT RECEIVED 16/01/15 and transferred to department		
Salmon Harvester Properties Limited	Plot 1, Innoval Park, Enfield, EN9 7XV TP101362	Redevelopment of site for industrial / warehouse purposes (OUTLINE with all matters reserved).	31.05.11	ENFIELD LOCK	Enfield North	18,000.00	3,000.00	None Specified	Travel Plan Monitoring fee for monitoring travel plan	R&E	T&T			0		0											0	PAYMENT RECEIVED 16/01/15		
TOTALS						18,000.00	18,000.00							-16343.86	0	-16343.86	0	0	0	0	0	0	0	0	0	-4.79	-16348.65	-16348.65		
Opark Enfield LTD	Former ES&B Industrial Site Plot 2 Millston Av. P12-0008PLA	Redevelopment of Plot 2 for up to 12,537sqm of B1, B2 and B8 use (OUTLINE - Access)				17,500.00		non-monetary	Greenway Cycle Network Contribution towards the implementation of sections of the Greenways cycle scheme to assist accessibility to the Land	Liam Mulrooney	T&T	CT0407		-17500		-17500										-5.38	-17505.38		PAYMENT RECEIVED 16/01/15 and transferred to department	
Opark Enfield LTD	Former ES&B Industrial Site Plot 2 Millston Av. P12-0008PLA	Redevelopment of Plot 2 for up to 12,537sqm of B1, B2 and B8 use (OUTLINE - Access)				875.00		non-monetary	Monitoring Fee for Greenway Cycle Network	Liam Mulrooney	T&T	CT0407		-875		-875										-875			PAYMENT RECEIVED 16/01/15 and transferred to department	
Opark Enfield LTD	Former ES&B Industrial Site Plot 2 Millston Av. P12-0008PLA	Redevelopment of Plot 2 for up to 12,537sqm of B1, B2 and B8 use (OUTLINE - Access)				24,375.00	3,500.00	Within 8 years from the date of receipt	Monitoring Fee for Travel Plan	T&T				0		0												0	PAYMENT RECEIVED 16/01/15 and transferred to department	
Opark Enfield LTD	Former ES&B Industrial Site Plot 2 Millston Av. P12-0008PLA	Redevelopment of Plot 2 for up to 12,537sqm of B1, B2 and B8 use (OUTLINE - Access)				2,500.00		non-monetary	Monitoring Fee for Local Employment and Training Strategy	Carin Robman	BED	CT0408		-2500		-2500										-0.73	-2500.73		PAYMENT RECEIVED 16/01/15 and transferred to department	
Opark Enfield LTD	Former ES&B Industrial Site Plot 2 Millston Av. P12-0008PLA	Redevelopment of Plot 2 for up to 12,537sqm of B1, B2 and B8 use (OUTLINE - Access)						non-monetary	Local Employment and Training Strategy to be agreed with Council on a per contract basis in Schedule 4	Liam Mulrooney	T&T			0		0													Developer emailed S106 on 23.02.15 to confirm work will start immediately. Invoice to be sent W/C 23 Feb 2015. CONTRIBUTIONS PAID W/C 16 March 2015	
TOTALS														-20875	0	-20875										-6.11	-20881.11			

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Consistency	Total financial obligation	Obligation Split	NO DEADLINE - FULL PROPOSAL - NO RISK OF DELAY	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	COMPLETION BALANCE split - includes in year	NO RISK OF DELAY ON A CODES 14	COMPLETION BALANCE split - ON A CODES	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance - After SAP Transactions	Other S106 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments			
Henny Home/Myra Cuthbertson	TP/09/1663/389 Cockfosters Road, EN4	Redevelopment of site to provide a detached 2-storey block of 4 flats (comprising 3 2-bed and 1 3-bed) with rooms in basement and roof, basement parking and access ramp and rear terrace/ balcony to ground, first and second floor levels.	24.06.10	Cockfosters	Southgate	10,000.00	10,000.00	NO DEADLINE	Highways Contribution towards construction of a centre island and associated footway works in Cockfosters Road.	Michael Pugro	T&T	CT0260	-	0.00	-	-	-	-	-	-	-	-	-	-	0.00	-	0.00	Complete S106 Overpaved to be covered by contingency				
Leslie Properties Ltd	Cedar House, 498, Green Lane, N32 WINDCHIRE HILL TP/10/211/215 (TP/09/179/127)	Demolition of part of existing building and masonry and change of use of remaining building from offices to residential involving erection of a part 2-storey, part 3-storey extension to provide 9 2-bed flats, together with erection of a 5-storey block of 11 x 2-bed flats at rear of site, with balconies and roof terraces, and provision of associated car parking with access via Highfield Road (amended scheme to Ref TP/09/217/7)	27.02.06	Wichmore Hill	Southgate	15,000.00	15,000.00	NO DEADLINE	Highways Contribution towards review of existing waiting restrictions in Highfield Road, improvement of the footways in Highfield Road, and any associated highway works.	Michael Pugro	T&T	CT0188	-	9,477.14	-	-	-	-	-	-	-	-	-	-	33.36	-	9,510.50	9,477.14	33.36	Allocated to highways works on Green Lane. To be spent in 15/16		
Enfield Evangelical Free Church	67 & 79 Cecil Road, EN2 6TJ TP/09/2020/GRANGE	Replacement of existing church comprising auditorium, coffee bar, canteen, and kitchen at ground floor, classrooms at first floor level and meeting rooms and offices at second floor level, together with associated car parking and vehicular access to Cecil Road.	30.07.10	Grange	Southgate	30,000.00	20,000.00	NO DEADLINE	Further CPZ Contribution for consulting upon and implementing revised parking controls within the CPZ.	David Taylor	T&T	CT0281	-	5,059.23	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Subject to LPA demonstrating on street parking has deteriorated		
Enfield Evangelical Free Church	67 & 79 Cecil Road, EN2 6TJ TP/09/2020/GRANGE	Replacement of existing church comprising auditorium, coffee bar, canteen, and kitchen at ground floor, classrooms at first floor level and meeting rooms and offices at second floor level, together with associated car parking and vehicular access to Cecil Road.	30.07.10	Grange	Southgate	30,000.00	5,000.00	NO DEADLINE	Initial CPZ Contribution towards reviewing and assessing and monitoring the effectiveness of the existing CPZ scheme.	Liam Mulrooney	T&T	CT0281	-	5,059.23	-	-	-	-	-	5,038.57	-	-	-	-	-	-	-	-	20.66	CPZ TO BE DELAYED TO 2015/16		
Enfield Evangelical Free Church	67 & 79 Cecil Road, EN2 6TJ TP/09/2020/GRANGE	Replacement of existing church comprising auditorium, coffee bar, canteen, and kitchen at ground floor, classrooms at first floor level and meeting rooms and offices at second floor level, together with associated car parking and vehicular access to Cecil Road. (Revised scheme).	30.07.10	Grange	Southgate	30,000.00	5,000.00	NO DEADLINE	Landscaping Contribution towards implementation of a submitted landscaping scheme.	Matthew Watts	PARKS	CT0280	-	5,069.32	-	-	-	-	-	-	5,069.32	5,069.32	-	16.39	16.39	0.00	5,069.32	5,069.32	DAK authorised allocation of balance towards reinstating the heating lake at Enfield Town Park. This project comprises of two phases, the first 'clean up & preparatory works' phase 1 underway. Phase 2 - construction commences in 14/15, completion during 15/16.			
Enfield Evangelical Free Church	67 & 79 Cecil Road, EN2 6TJ TP/09/2020/GRANGE	Replacement of existing church comprising auditorium, coffee bar, canteen, and kitchen at ground floor, classrooms at first floor level and meeting rooms and offices at second floor level, together with associated car parking and vehicular access to Cecil Road.	30.07.10	Grange	Southgate	30,000.00	-	NO DEADLINE	Travel Plan	Safia Ishaq/Rachel Buck	T&T	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Enfield Evangelical Free Church	67 & 79 Cecil Road, EN2 6TJ TP/09/2020/GRANGE	Erection of replacement church comprising auditorium, coffee bar, canteen, and kitchen at ground floor, classrooms at first floor level and meeting rooms and offices at second floor level, together with associated car parking and vehicular access to Cecil Road. (Revised scheme).	30.07.10	Grange	Southgate	30,000.00	To be invoiced	NO DEADLINE	Highways Contribution for creation of a new access to the site, works to newly streets, removal/re-painting of road markings, reinstatement of curbs and kerbs.	Liam Mulrooney	T&T	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	To be invoiced prior to occupation - Monies only to be sought if survey shows CPZ changes warranted - awaiting confirmation from lead officer.		
Thomas William Parker and TW Parker (Palmer Green)	90/120 Green Lanes, London, N13 5LP TP/09/0423/NM1 TP/09/0423/NM1	Erection of a total of 38 residential units (comprising 10 x 1-bed, 13 x 2-bed, 15 x 3-bed) incorporating 30 affordable housing units, and 208 sqm. Class A1-A3 use floor space in a 3 and 5-storey building, involving car parking to rear with amenity decking over, accessed via Regent Avenue.	20.07.10	Palmer Green	Southgate	122,674.04	85,337.00	20.09.11	Education towards the provision of early years/childrens education and for secondary school places within the area.	Keith Rowley	EDU	CT0282	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Complete. Remaining balance has been moved to contingency.		
Thomas William Parker and TW Parker (Palmer Green)	90/120 Green Lanes, London, N13 5LP TP/09/0423/NM1 TP/09/0423/NM1	Erection of a total of 38 residential units (comprising 10 x 1-bed, 13 x 2-bed, 15 x 3-bed) incorporating 30 affordable housing units, and 208 sqm. Class A1-A3 use floor space in a 3 and 5-storey building, involving car parking to rear with amenity decking over, accessed via Regent Avenue.	20.07.10	Palmer Green	Southgate	122,674.04	2,537.04	20.09.11	Open Space Contribution (L3) towards improving natural play facilities at Broadfield Park and associated measures.	Matthew Watts	PARKS	CT0250	-	2,485.70	-	-	-	-	-	-	-	-	2,485.70	2,485.70	-	-	-	8.03	8.03	0.00	0.00	This was received for Broadfield Park improvements. Parks team are aware of available balance and are designing up a project.
Thomas William Parker and TW Parker (Palmer Green)	90/120 Green Lanes, London, N13 5LP TP/09/0423/NM1 TP/09/0423/NM1	Erection of a total of 38 residential units (comprising 10 x 1-bed, 13 x 2-bed, 15 x 3-bed) incorporating 30 affordable housing units, and 208 sqm. Class A1-A3 use floor space in a 3 and 5-storey building, involving car parking to rear with amenity decking over, accessed via Regent Avenue.	20.07.10	Palmer Green	Southgate	122,674.04	35,000.00	20.09.11	Open Space Contribution to be paid to the Council in respect of the provision by the Council of publicly available open spaces within a 5km radius of the land.	Matthew Watts	PARKS	CT0283	-	34,109.40	-	-	-	-	-	894.00	24,490.00	-	-	25,384.00	-	96.87	-	8,822.27	8,725.40	96.87	DAK authorised for use for monies towards the reprinting / repair of the pond at Faten Park. Consultation complete, tender process being carried out for works.	
Thomas William Parker and TW Parker (Palmer Green)	90/120 Green Lanes, London, N13 5LP TP/09/0423/NM1 TP/09/0423/NM1	Erection of a total of 38 residential units (comprising 10 x 1-bed, 13 x 2-bed, 15 x 3-bed) incorporating 30 affordable housing units, and 208 sqm. Class A1-A3 use floor space in a 3 and 5-storey building, involving car parking to rear with amenity decking over, accessed via Regent Avenue.	20.07.10	Palmer Green	Southgate	122,674.04	-	-	Affordable Housing (18 units)	Sarah Carter	Development & Estates Renewal Council Homes	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Non Monetary Planning Obligation			
Shanly Homes Limited	Chase Side Works, Cheshford Road, London, N14 4NP TP/10/1424	Redevelopment of the site to provide 30 residential units comprising 8 x 2-storey, 4-bed houses in two terraces with accommodation in roof space, an attached 3-storey block of 1 x 2-bed flats and a 3-storey block of 4 flats (1 x 1-bed, 10 x 2-bed, 23 x 3-bed).	21.04.11 DNV 28.02.14	Southgate	Southgate	184,714.00	118,214.00	20.10.10	Education Contribution to be used for educational facilities required as a consequence of development.	Keith Rowley	EDU	CT0285	-	-	-	-	-	-	-	894.00	24,490.00	2,485.70	27,869.70	-	-	-	8,822.27	8,725.40	96.87	First 30% complete. Awaiting second authorisation for spend for recently received remaining 90% payment to be used towards works at Eversley School.		
Shanly Homes Limited	Chase Side Works, Cheshford Road, London, N14 4NP TP/10/1424	Redevelopment of the site to provide 30 residential units comprising 8 x 2-storey, 4-bed houses in two terraces with accommodation in roof space, an attached 3-storey block of 1 x 2-bed flats and a 3-storey block of 4 flats (1 x 1-bed, 10 x 2-bed, 23 x 3-bed).	21.04.11 DNV 28.02.14	Southgate	Southgate	184,714.00	50,000.00	20.10.10	Employment Strategy Contribution to increase employment and training for local residents in the construction of the site.	Mary O'Sullivan	RED	CT0286	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Allocated to fund job for 12/13 - complete		
Shanly Homes Limited	Chase Side Works, Cheshford Road, London, N14 4NP TP/10/1424	Redevelopment of the site to provide 30 residential units comprising 8 x 2-storey, 4-bed houses in two terraces with accommodation in roof space, an attached 3-storey block of 1 x 2-bed flats and a 3-storey block of 4 flats (1 x 1-bed, 10 x 2-bed, 23 x 3-bed).	21.04.11 DNV 28.02.14	Southgate	Southgate	184,714.00	15,000.00	20.10.10	Highways Improvement Contribution towards the improvement of highways within the vicinity of the development.	Mike Heyland	T&T	CT0287	-	23,298.19	-	-	-	-	-	-	-	-	-	-	-	-	81.96	-	23,298.19	81.96	Monies allocated to junction improvements within Chase Side Road. To be carried out in 14/15. Awaiting information on status of works.	
Shanly Homes Limited	Chase Side Works, Cheshford Road, London, N14 4NP TP/10/1424	Redevelopment of the site to provide 30 residential units comprising 8 x 2-storey, 4-bed houses in two terraces with accommodation in roof space, an attached 3-storey block of 1 x 2-bed flats and a 3-storey block of 4 flats (1 x 1-bed, 10 x 2-bed, 23 x 3-bed).	21.04.11 DNV 28.02.14	Southgate	Southgate	184,714.00	-	-	Affordable Housing Units (11 Units)	Sarah Carter	Development & Estates Renewal Council Homes	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Revised viability assessment when 50% of open market units have been sold. Overage to be paid if any, at the point when the 36th unit is sold.		
Shanly Homes Limited	Chase Side Works, Cheshford Road, London, N14 4NP TP/10/1424	Redevelopment of the site to provide 30 residential units comprising 8 x 2-storey, 4-bed houses in two terraces with accommodation in roof space, an attached 3-storey block of 1 x 2-bed flats and a 3-storey block of 4 flats (1 x 1-bed, 10 x 2-bed, 23 x 3-bed).	21.04.11 DNV 28.02.14	Southgate	Southgate	184,714.00	1,500.00	5 years of receipt of final overage payment	S106 Management Fee for OVERAGE	Jo Woodward	STRATEGIC PLANNING AND DESIGN	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	23,298.19	81.96		
Banner Homes Central Ltd	Land at 80 Camlet Way, Boreham, EN8 8NX TP/11/0227 TP/09/1657/8252 TP/11/0540	Erection of 1 x 4-bed detached house with basement and lightwell, 2 x front dormers to provide habitable rooms and erection of detached garage with associated access.	19.09.11	Cockfosters	Southgate	117,955.00	107,955.00	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield as a consequence of development.	Sarah Carter	Development & Estates Renewal Council Homes	CT0304	PLEASE SEE AFFORDABLE HOUSING TAB	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	There are no site specific constraints for the expenditure of monies. The Council's Housing Team is currently preparing specific projects for funding these funds which will be completed by the financial year 2014/15. Please see affordable housing tab.	
Banner Homes Central Ltd	Land at 80 Camlet Way, Boreham, EN8 8NX TP/11/0227 TP/09/1657/8252	Erection of 1 x 4-bed detached house with basement and lightwell, 2 x front dormers to provide habitable rooms and erection of detached garage with associated access.	19.09.11	Cockfosters	Southgate	117,955.00	10,000.00	NO DEADLINE	to provide additional primary educational facilities within the Borough required as a consequence of development.	Keith Rowley	EDU	CT0298	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Allocated to primary capital programme - works towards De Bohun School		
Henry Homes	3118 Chase Road EN14 TP/09/009	Redevelopment of site by the erection of a 2-storey detached nursery building (class D1) with outdoor play area and associated parking.	20.06.10	Southgate	Enfield North	6,000.00	6,000.00	NO DEADLINE	Highways Contribution. To be used for 1. Marking out right hand lane Chase Road (P24) Class 2. Provision of traffic management order to provide works to implement revised waiting restrictions. 3. Footway alterations to P24 Chase Road.	Jonathan Goodson	T&T	CT0277	-	2,717.16	-	-	-	-	-	-	-	-	-	-	-	-	-	9.60	-	2,726.76	2,726.76	P24 Chase Road works were completed in Aug 2011. Remaining balance now allocated to highway works - Lead officer to confirm how remaining to be utilised.
Recon Securities Limited	485/499 Green Lanes London N13 4BS TP/09/1238 WNC/06/3636	Block of 36 residential units (comprising 8 x 1-bed, 15 x 2-bed, 6 x 3-bed, 7 x 4-bed) incorporating 18 affordable units, with accommodation in roof space, roof terraces, balconies and dormer windows, together with provision of associated car parking and access to Green Lanes.	07.05.10	Wichmore Hill	Southgate	115,587.00	85,337.00	NO DEADLINE	Education towards the provision of early years/childrens education and for secondary school places within the area.	Keith Rowley	EDU	CT0322	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Committed to works at Highfield Primary School, complete	
Recon Securities Limited	485/499 Green Lanes London N13 4BS TP/09/1238 WNC/06/3636	Block of 36 residential units (comprising 8 x 1-bed, 15 x 2-bed, 6 x 3-bed, 7 x 4-bed) incorporating 18 affordable units, with accommodation in roof space, roof terraces, balconies and dormer windows, together with provision of associated car parking and access to Green Lanes.	07.05.10	Wichmore Hill	Southgate	115,587.00	15,000.00	NO DEADLINE	Highways Contribution towards works to the public highway (Green Lane) and associated measures to include costs associated an detailed on p17 of the agreement.	David Taylor	T&T	CT0323	-	13,860.02	-	-	-	-	-	551.20	45.02	244.46	860.68	-	47.63	-	13,243.90	13,243.90	196.83	Balance was committed to highway works within Green Lanes. Works for this are currently under review and balance may be potentially used towards similar works as part of Cycle Enfield in 15/16.		
Recon Securities Limited	485/499 Green Lanes London N13 4BS TP/09/1238 WNC/06/3636	Block of 36 residential units (comprising 8 x 1-bed, 15 x 2-bed, 6 x 3-bed, 7 x 4-bed) incorporating 18 affordable units, with accommodation in roof space, roof terraces, balconies and dormer windows, together with provision of associated car parking and access to Green Lanes.	07.05.10	Wichmore Hill	Southgate	115,587.00	-	NO DEADLINE	Amenity Space Contribution towards improving natural play facilities at Broadfield Park and associated measures.	Matthew Watts	PARKS	CT0324	-	15,098.40	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	12,304.89	Parks are considering spending this money on Broadfield / Clowes / Amos Parks.	
Recon Securities Limited	485/499 Green Lanes London N13 4BS TP/09/1238 WNC/06/3636	Block of 36 residential units (comprising 8 x 1-bed, 15 x 2-bed, 6 x 3-bed, 7 x 4-bed) incorporating 18 affordable units, with accommodation in roof space, roof terraces, balconies and dormer windows, together with provision of associated car parking and access to Green Lanes.	07.05.10	Wichmore Hill	Southgate	115,587.00	250.00	NO DEADLINE	S106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	PLANS Management Fee Tab		
Recon Securities Limited	485/499 Green Lanes London N13 4BS TP/09/1238 WNC/06/3636	Block of 36 residential units (comprising 8 x 1-bed, 15 x 2-bed, 6 x 3-bed, 7 x 4-bed) incorporating 18 affordable units, with accommodation in roof space, roof terraces, balconies and dormer windows, together with provision of associated car parking and access to Green Lanes.	07.05.10	Wichmore Hill	Southgate	115,587.00	-	NO DEADLINE	Affordable Housing (18 units)	Sarah Carter	Development & Estates Renewal Council Homes	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Non Monetary Planning Obligation		
TOTAL						115,587.00	115,587.00					-	28,958.42	-	-	-	-	-	551.20	45.02	3,090.18	3,706.40	-	-	-	-	25,351.86	13,243.90	12,308.06			
Transport for London Hyder Consulting (UK) Limited	A80 Parkham Way, N11 3CJ Connaught Gardens N13 TP/06/2560	Proposed safety and Environmental Improvement Scheme involving widening and/or realignment of existing carriageway including demolition of existing properties, improvements to the junction of the North Circular Road with Bonds Green Road, Fildes Road and Bonds Green Road.	11.03.08	Palmer Green	Southgate	45,000.00	45,000.00	NO DEADLINE	Proposed Safety and Environmental Improvement Scheme	Dominic Milnes	T&T	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Non Monetary Planning Obligation - need progress update		
Transport for London Hyder Consulting (UK) Limited	A80 Parkham Way, N11 3CJ Connaught Gardens N13 TP/06/2560	Proposed safety and Environmental Improvement Scheme involving widening and/or realignment of existing carriageway including demolition of existing properties, improvements to the junction of the North Circular Road with Bonds Green Road, Fildes Road and Bonds Green Road.	11.03.08	Palmer Green	Southgate	45,000.00	45,000.00	NO DEADLINE	Identification of safeguarding line re an intermediate scheme.	Dominic Milnes	T&T	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Non Monetary Planning Obligation - need progress update		
Transport for London Hyder Consulting (UK) Limited	A80 Parkham Way, N11 3CJ Connaught Gardens N13 TP/06/2560	Proposed safety and Environmental Improvement Scheme involving widening and/or realignment of existing carriageway including demolition of existing properties, improvements to the junction of the North Circular Road with Bonds Green Road, Fildes Road and Bonds Green Road.	11.03.08	Palmer Green	Southgate	45,000.00	45,000.00	NO DEADLINE	Air Quality Monitoring, Upgrading and maintaining air quality monitoring equipment in the locality of the development.	San McEad	REGULATORY SERVICES	CT0299	-	34,603.57	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	121.68	Authorisation recently received for ongoing air quality monitoring costs of the Bonds Road School site which are approx 03k per year AS PER LEAD OFFICER.	
Rounds Properties Limited	Land at Maldenstone Road and 10, Warwick Rd, London, N11 2TJ TP/11/0251	Redevelopment of site to provide 2 x 4-bed residential units involving a part 2-storey building with basement and front gables with flank windows, new vehicular access to Maldenstone Road and new windows to side elevation of 10 Warwick Road at ground, first and second floor.	11.05.11	Bowes	Southgate	78,847.00	43,300.00	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield as a consequence of development.	Sarah Carter	Development & Estates Renewal Council Homes	CT0304	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	A DAK is being circulated in consent full balance towards the provision of additional affordable housing units on the 'New Avenue' (estate renewal project located in Southgate) N14. The Council has procured a development partner; the planning application is anticipated to be submitted in Dec 2015		
Rounds Properties Limited	Land at Maldenstone Road and 10, Warwick Rd, London, N11 2TJ TP/11/0251	Redevelopment of site to provide 2 x 4-bed residential units involving a part 2-storey building with basement and front gables with flank windows, new vehicular access to Maldenstone Road and new windows to side elevation of 10 Warwick Road at ground, first and second floor.	11.05.11	Bowes	Southgate	78,847.00	-	NO DEADLINE	Education Contribution to provide educational facilities within Enfield as a consequence of the development.	Keith Rowley	EDU	CT0333	-	5.76	-	-	-	-	-	-	-	-	-	-	-	-	-	-	5.76	Allocated and spent on primary school expansion scheme in 12/13.		
Rounds Properties Limited	Land at Maldenstone Road and 10, Warwick Rd, London, N11 2TJ TP/11/0251	Redevelopment of site to provide 2 x 4-bed residential units involving a part 2-storey building with basement and																														

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Consistency	Total financial obligation	Obligation Split	SP20 DEADLINE - RIEU + Permit Compl. EDU + STRATEGIC PLANNING	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	CURRENT BALANCE Split - includes in year	SP20 RECEIPTS for Week Dues ON A CODES 14	SP20 COMMITMENTS ON A CODES 15	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance - After SAP Transactions	Other S106 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments
Farzana Quinlivan	86 Lakeside Road London N13 4PR F12-01974PLA	Subdivision of site and erection of an attached one storey single family dwelling house at side (RETROFECTIVE).	11.10.12	Wickmore Hill	Southgate	3,591.00	2,420.00	NO DEADLINE	Carbon Dioxide Emissions towards the delivery of carbon dioxide emissions savings elsewhere within the borough required as a consequence of the development (details on S106)	Rob Singleton	Development Management		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Lead officer is considering local sustainability projects to apply monies towards, in line with Enfield 2020
Farzana Quinlivan	86 Lakeside Road London N13 4PR F12-01974PLA	Subdivision of site and erection of an attached one storey single family dwelling house at side (RETROFECTIVE).	11.10.12	Wickmore Hill	Southgate	3,591.00	1,000.00	NO DEADLINE	Lifetime Homes Contribution Towards the upgrade of a development to Lifetime Homes standards elsewhere within the Borough required as a consequence of the development not meeting Lifetime Homes standards	Rob Singleton	Development Management	CT0331	1,005.74	-	-	1,005.74	-	-	-	-	-	-	-	-	3.48	1,009.22	-	1,009.22	Payments recently received and lead officer notified.
Farzana Quinlivan	86 Lakeside Road London N13 4PR F12-01974PLA	Subdivision of site and erection of an attached one storey single family dwelling house at side (RETROFECTIVE).	11.10.12	Wickmore Hill	Southgate	3,591.00	171.00	NO DEADLINE	S106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
TOTAL						3,591.00	3,591.00					-	1,005.74	-	-	1,005.74	-	-	-	-	-	-	-	-	-	1,009.22	-	1,009.22	
West East Business Services Limited	196 Whittington Road, London N22 9YJ. F12-00959PLA	Change of use at ground floor from A1 to C1 (1 bed flat).	26.11.12	Bowes	Southgate	3,836.69	603.99	NO DEADLINE	Education to provide additional educational facilities within the Borough required as a consequence of development	Keith Rowley	EDU	CT0334	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Education payment was moved to CT0336 when open. Committed towards additional classes at Prince of Wales school - Complete.
West East Business Services Limited	196 Whittington Road, London N22 9YJ. F12-00959PLA	Change of use at ground floor from A1 to C1 (1 bed flat).	26.11.12	Bowes	Southgate	3,836.69	3,050.00	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	Development & Estates Renewal Council Homes	CT0304	PLEASE SEE AFFORDABLE HOUSING TAB	Please see Affordable Housing tab	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Payment recently received and relevant department notified. Please see affordable housing tab.
West East Business Services Limited	196 Whittington Road, London N22 9YJ. F12-00959PLA	Change of use at ground floor from A1 to C1 (1 bed flat).	26.11.12	Bowes	Southgate	3,836.69	162.70	NO DEADLINE	S106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
TOTAL						3,836.69	3,836.69					-																	
Ashwin & Jyotsna Goyal	133 Rowes Road Palmers Green London N13 4SB F12-00609PLA	Conversion of existing first floor maisonette into 2 self contained flats (comprising of 1 x 1-bed and 1 x 2-bed) including mezzanine floor to second floor.	08.03.13	Bowes	Southgate	2,755.18	2,020.00	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	Development & Estates Renewal Council Homes	CT0304	PLEASE SEE AFFORDABLE HOUSING TAB	Please see Affordable Housing tab	-	-	-	-	-	-	-	-	-	-	-	-	-	-	A DAR is being circulated to commit full balance towards the provision of additional affordable housing units on the New Avenue Estate Renewal project located in Southgate N14. The Council has procured a development partner, the planning application is anticipated to be submitted in Dec 2015.
Ashwin & Jyotsna Goyal	133 Rowes Road Palmers Green London N13 4SB F12-00609PLA	Conversion of existing first floor maisonette into 2 self contained flats (comprising of 1 x 1-bed and 1 x 2-bed) including mezzanine floor to second floor.	08.03.13	Bowes	Southgate	2,755.18	603.99	NO DEADLINE	Education to provide additional educational facilities within the Borough required as a consequence of development	Keith Rowley	EDU	CT0336	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Allocated to basement works at Bowes Primary School - Complete.
Ashwin & Jyotsna Goyal	133 Rowes Road Palmers Green London N13 4SB F12-00609PLA	Conversion of existing first floor maisonette into 2 self contained flats (comprising of 1 x 1-bed and 1 x 2-bed) including mezzanine floor to second floor.	08.03.13	Bowes	Southgate	2,755.18	131.19	NO DEADLINE	S106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
TOTAL						2,755.18	2,755.18					-																	
Highfield Road Limited	Land on North Side of Highfield Road London N24 3HH TP/11/1009	Erection of 4 x 3-bed semi detached single family dwellings including rear dormer, front solar panels to roof, off street parking to front and vehicle access, amenity space to rear with refuse and cycle storage.	22.03.12	Wickmore Hill	Southgate	112,793.60	104,793.60	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	Development & Estates Renewal Council Homes	PLEASE SEE AFFORDABLE HOUSING TAB	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	A DAR is being circulated to commit full balance towards the provision of additional affordable housing units on the New Avenue Estate Renewal project located in Southgate N14. The Council has procured a development partner, the planning application is anticipated to be submitted in Dec 2015.
Highfield Road Limited	Land on North Side of Highfield Road London N24 3HH TP/11/1009	Erection of 4 x 3-bed semi detached single family dwellings including rear dormer, front solar panels to roof, off street parking to front and vehicle access, amenity space to rear with refuse and cycle storage.	22.03.12	Wickmore Hill	Southgate	112,793.60	2,364.32	NO DEADLINE	Highways Works Contribution towards necessary highway works including but not limited to replacement footway paving and the provision of replacement trees.	Howard Kennedy	T&T	CT0345	2,360.21	-	2,360.21	-	-	-	-	-	-	-	-	-	8.28	2,368.49	-	2,368.49	Payment recently received and relevant department notified.
Highfield Road Limited	Land on North Side of Highfield Road London N24 3HH TP/11/1009	Erection of 4 x 3-bed semi detached single family dwellings including rear dormer, front solar panels to roof, off street parking to front and vehicle access, amenity space to rear with refuse and cycle storage.	22.03.12	Wickmore Hill	Southgate	112,793.60	5,695.68	NO DEADLINE	S106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
TOTAL						112,793.60	112,793.60					-	2,360.21	-	-	2,360.21	-	-	-	-	-	-	-	-	-	2,368.49	-	2,368.49	
Higginss Homes PLC	Barwell Green Car Park Wickmore Hill, London N21 3AU F12-01189PLA	Erection of a total of nine self contained residential units within two 3-storey blocks, comprising Block A, 4 x 3-bed and 2 x 2-bed units, and Block B, 3 x 2-bed units, with associated car parking, cycle storage, landscaping and amenity.	15.03.13	Wickmore Hill	Southgate	256,012.30	206,910.30	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	Development & Estates Renewal Council Homes	CT0304	PLEASE SEE AFFORDABLE HOUSING TAB	Please see Affordable Housing tab	-	-	-	-	-	-	-	-	-	-	-	-	-	-	A DAR is being circulated to commit full balance towards the provision of additional affordable housing units on the New Avenue Estate Renewal project located in Southgate N14. The Council has procured a development partner, the planning application is anticipated to be submitted in Dec 2015.
Higginss Homes PLC	Barwell Green Car Park Wickmore Hill, London N21 3AU F12-01189PLA	Erection of a total of nine self contained residential units within two 3-storey blocks, comprising Block A, 4 x 3-bed and 2 x 2-bed units, and Block B, 3 x 2-bed units, with associated car parking, cycle storage, landscaping and amenity.	15.03.13	Wickmore Hill	Southgate	256,012.30	36,911.00	NO DEADLINE	Education to provide additional educational facilities within the Borough required as a consequence of development	Keith Rowley	EDU	CT0342	0.00	-	0.00	-	-	-	-	-	-	-	-	-	-	0.00	-	0.00	Allocated to works in Highfield Primary School. Balance fully drawn down in 14/15.
Higginss Homes PLC	Barwell Green Car Park Wickmore Hill, London N21 3AU F12-01189PLA	Erection of a total of nine self contained residential units within two 3-storey blocks, comprising Block A, 4 x 3-bed and 2 x 2-bed units, and Block B, 3 x 2-bed units, with associated car parking, cycle storage, landscaping and amenity.	15.03.13	Wickmore Hill	Southgate	256,012.30	12,191.00	NO DEADLINE	S106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Please see management for tab
TOTAL						256,012.30	256,012.30					-	0.00	-	-	0.00	-	-	-	-	-	-	-	-	-	0.00	-	0.00	
Swaby and Bewell Limited Liability Partnership	The Bourne London N14 6QN 01160PLA	Erection of 1 x 3-bed detached and 2 x 3-bed semi detached single family dwellings each with garage and roof terrace, front dormer and rear dormer windows with enclosed terrace to roof and balconies to first floor rear, involving demolition of existing storage building.	07.01.13	Southgate	Southgate	155,517.69	20,273.88	NO DEADLINE	Education to provide additional educational facilities within the Borough required as a consequence of development	Keith Rowley	EDU	CT0335	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	Allocated towards additional class rooms at Fensley school. Complete.
Swaby and Bewell Limited Liability Partnership	The Bourne London N14 6QN 01160PLA	Erection of 1 x 3-bed detached and 2 x 3-bed semi detached single family dwellings each with garage and roof terrace, front dormer and rear dormer windows with enclosed terrace to roof and balconies to first floor rear, involving demolition of existing storage building.	07.01.13	Southgate	Southgate	155,517.69	127,658.30	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	Development & Estates Renewal Council Homes	CT0304	PLEASE SEE AFFORDABLE HOUSING TAB	Please see Affordable Housing tab	-	-	-	-	-	-	-	-	-	-	-	-	-	-	A DAR is being circulated to commit full balance towards the provision of additional affordable housing units on the New Avenue Estate Renewal project located in Southgate N14. The Council has procured a development partner, the planning application is anticipated to be submitted in Dec 2015.
Swaby and Bewell Limited Liability Partnership	The Bourne London N14 6QN 01160PLA	Erection of 1 x 3-bed detached and 2 x 3-bed semi detached single family dwellings each with garage and roof terrace, front dormer and rear dormer windows with enclosed terrace to roof and balconies to first floor rear, involving demolition of existing storage building.	07.01.13	Southgate	Southgate	155,517.69	7,465.51	NO DEADLINE	S106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
TOTAL						155,517.69	155,517.69					-																	

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Consistency	Total financial obligation	Obligation Split	SPEND DEADLINE - (BED + PAVES + EDU + HMO + HMO2 + HMO3)	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	CONTRIBUTION BALANCE Split - (includes in year)	SPEND REVIEWED ON A CODES 14	COMMITMENT ON A CODES	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance - After SAP Transactions	Other S106 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments		
Andrew Georgall Drake and Richard Task	3 Wood Rise, Barnet London EN4 6LJ P12-0318PLA	Subdivision of site and erection of 2 detached 2 storey 6 bed single family dwellings with rooms in roof with dormer windows and solar panels involving demolition of existing dwelling and outbuilding.	14.06.13	Cockhoppers		113,059.74	107,406.75	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development.	Sarah Carter	Development & Estates Renewal Council Homes	CT0304																		A DAR is being circulated to commit full balance towards the provision of additional affordable housing units on the New Avenue Estate Renewal project located in Southgate, N14. The Council has procured a development partner, the planning application is anticipated to be submitted in Dec 2015.	
							5,652.99		\$106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303																			
TOTAL						113,059.74	113,059.74																								
Joseph Simon Davies and Marcel Ballu (Owners)	84 Ridge Avenue, London N21 2AU P13-02043PLA	Conversion of single family dwelling into 2 x self contained flats (1 x 2-bed and 1 x 4-bed).	04.07.13	Grange		20,230.96	17,411.60	TBC (10 yrs)	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development.	Sarah Carter	Development & Estates Renewal Council Homes	CT0304																		A DAR is being circulated to commit full balance towards the provision of additional affordable housing units on the New Avenue Estate Renewal project located in Southgate, N14. The Council has procured a development partner, the planning application is anticipated to be submitted in Dec 2015.	
Joseph Simon Davies and Marcel Ballu (Owners)	84 Ridge Avenue, London N21 2AU P13-02043PLA	Conversion of single family dwelling into 2 x self contained flats (1 x 2-bed and 1 x 4-bed).	04.07.13	Grange		20,230.96	1,855.98		Education to provide additional educational facilities within the Borough	Keith Rowley	EDU																			Payment expected shortly and once received shall be allocated to school expansion scheme.	
Joseph Simon Davies and Marcel Ballu (Owners)	84 Ridge Avenue, London N21 2AU P13-02043PLA	Conversion of single family dwelling into 2 x self contained flats (1 x 2-bed and 1 x 4-bed).	04.07.13	Grange		20,230.96	963.38		\$106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303																			
TOTAL						30,230.96	20,230.96																								
Joseph Simon Davies & Marcel Inrelli	84 Ridge Avenue London N21 2AU P13-02043PLA	Conversion of single family dwelling into 2 x self contained flats (1 x 2-bed and 1 x 4-bed).	04.07.13	Grange		20,230.96	17,411.60	Within 10 years of the receipt of payment	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development.	Sarah Carter	Development & Estates Renewal Council Homes	CT0304																		A DAR is being circulated to commit full balance towards the provision of additional affordable housing units on the New Avenue Estate Renewal project located in Southgate, N14. The Council has procured a development partner, the planning application is anticipated to be submitted in Dec 2015.	
Joseph Simon Davies & Marcel Inrelli	84 Ridge Avenue London N21 2AU P13-02043PLA	Conversion of single family dwelling into 2 x self contained flats (1 x 2-bed and 1 x 4-bed).		Grange		20,230.96	1,855.98	Within 10 years of the receipt of payment	Education to provide additional educational facilities within the Borough	Keith Rowley	EDU																			Balance spent on works to St Matthews Church of England school - complete.	
Joseph Simon Davies & Marcel Inrelli	84 Ridge Avenue London N21 2AU P13-02043PLA	Conversion of single family dwelling into 2 x self contained flats (1 x 2-bed and 1 x 4-bed).		Grange		20,230.96	963.38	Within 10 years of the receipt of payment	\$106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303																			
TOTAL						30,230.96	20,230.96																								
Ann Shuk-Chuen Teng	939-941 Green Lane London N21 2PB P12-01247PLA	Conversion of doctors surgery into 6 self contained flats (2 x 3 bed, 2 x 2 bed and 2 x 1 bed) with first floor rear extension, extension of hipped roof incorporating rear dormers and associated car parking to rear.	22.10.13	Grange		36,215.78	34,454.99	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development.	Sarah Carter	Development & Estates Renewal Council Homes	CT0304																			A DAR is being circulated to commit full balance towards the provision of additional affordable housing units on the New Avenue Estate Renewal project located in Southgate, N14. The Council has procured a development partner, the planning application is anticipated to be submitted in Dec 2015.
Ann Shuk-Chuen Teng	939-941 Green Lane London N21 2PB P12-01247PLA	Conversion of doctors surgery into 6 self contained flats (2 x 3 bed, 2 x 2 bed and 2 x 1 bed) with first floor rear extension, extension of hipped roof incorporating rear dormers and associated car parking to rear.		Grange		36,215.78	1,810.79	NO DEADLINE	\$106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303																			
TOTAL						36,215.78	36,215.78																								
Sherryngham Homes Limited	Land adjacent to 2 Fox Lane and rear of 2-38 Cavendish Avenue, London N13 TP10/1019	Construction of a new access road via Fox Lane and redevelopment of site to provide 8 single family dwellings comprising 5 semi-detached 3-bed houses and 3 detached 4-bed house with rear dormer together with associated car parking.	13.04.11	Winchmore Hill	Southgate	57,877.00	32,877.00	5 years from the date of receipt	Education Contribution towards provision of education in the Borough.	Keith Rowley	Development & Estates Renewal Council Homes	CT0302	0.00																	Allocated to works at Highfield Primary School. Balance drawn down in 13/14.	
Sherryngham Homes Limited	Land adjacent to 2 Fox Lane and rear of 2-38 Cavendish Avenue, London N13 TP10/1019	Construction of a new access road via Fox Lane and redevelopment of site to provide 8 single family dwellings comprising 5 semi-detached 3-bed houses and 3 detached 4-bed house with rear dormer together with associated car parking.	13.04.11	Winchmore Hill	Southgate	57,877.00	25,000.00	5 years from the date of receipt	Highways Contribution to improve highway safety to include additional waiting restrictions, introduction of green painted waiting signs, contribution to green cycle routes and any other related highway safety measures	David Cowan	T&T	CT0303	25,367.75			25,367.75							89.16		25,456.91			25,456.91	Payment recently received and to be allocated to Cycle Enfield (formerly non bonded) in 15/16.		
TOTAL						57,877.00	57,877.00						25,367.75			25,367.75															
Constantinos Agathangelou	259 Green Lanes N13 4XE TP11/10521	Conversion of part of ground floor and first and second floors into 3 x flats (comprising of 2 x 1-bed and 1 x 2-bed flats) involving removal of side external staircase, together with installation of replacement windows to front and rear elevations.	20.12.11	Palmer Green	Southgate	21,000.00	20,000.00	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield.	Sarah Carter	Development & Estates Renewal Council Homes	CT0304																		A DAR is being circulated to commit full balance towards the provision of additional affordable housing units on the New Avenue Estate Renewal project located in Southgate, N14. The Council has procured a development partner, the planning application is anticipated to be submitted in Dec 2015.	
Constantinos Agathangelou	259 Green Lanes N13 4XE TP11/10521	Conversion of part of ground floor and first and second floors into 3 x flats (comprising of 2 x 1-bed and 1 x 2-bed flats) involving removal of side external staircase, together with installation of replacement windows to front and rear elevations.	20.12.11	Palmer Green	Southgate		1,000.00		\$106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303																		Please see management fee tab.	
TOTAL						21,000.00	21,000.00																								
M & A Economides & Bank of Scotland	41 Beech Hill Barnet EN4 0PW P12-00707PLA	Demolition of existing dwellinghouse and construction of a total of 7 residential units, comprising a 3-storey block of 6 x 2-bed self-contained flats with basement and roof level accommodation, rear balconies and terraces and basement car parking, and a detached 2-storey 4-bed house to rear with accommodation in roof and integral double garage together with detached covered parking to front of site.	05.04.13	Cockhoppers	Southgate	422,340.00	377,740.00	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development.	Sarah Carter	Development & Estates Renewal Council Homes	CT0304																		Payment recently received and allocated to relevant department to consider projects.	
M & A Economides & Bank of Scotland	41 Beech Hill Barnet EN4 0PW P12-00707PLA	Demolition of existing dwellinghouse and construction of a total of 7 residential units, comprising a 3-storey block of 6 x 2-bed self-contained flats with basement and roof level accommodation, rear balconies and terraces and basement car parking, and a detached 2-storey 4-bed house to rear with accommodation in roof and integral double garage together with detached covered parking to front of site.	05.04.13	Cockhoppers	Southgate	422,340.00	11,335.88	NO DEADLINE	Education to provide additional educational facilities within the Borough.	Keith Rowley	EDU	CT0303	0.00			0.00														Allocated to works at Grange Park Primary School. Balance drawn down in 13/14.	
M & A Economides & Bank of Scotland	41 Beech Hill Barnet EN4 0PW P12-00707PLA	Demolition of existing dwellinghouse and construction of a total of 7 residential units, comprising a 3-storey block of 6 x 2-bed self-contained flats with basement and roof level accommodation, rear balconies and terraces and basement car parking, and a detached 2-storey 4-bed house to rear with accommodation in roof and integral double garage together with detached covered parking to front of site.	05.04.13	Cockhoppers	Southgate	422,340.00	5,818.56	NO DEADLINE	Public Realm for the enhancement and/or improvement of the surrounding local environment.	Matthew Watts	PARKS	CT0303	5,694.74			5,694.74								20.04		5,714.79		5,714.79	Payment recently received and allocated to relevant department to consider projects.		
M & A Economides & Bank of Scotland	41 Beech Hill Barnet EN4 0PW P12-00707PLA	Demolition of existing dwellinghouse and construction of a total of 7 residential units, comprising a 3-storey block of 6 x 2-bed self-contained flats with basement and roof level accommodation, rear balconies and terraces and basement car parking, and a detached 2-storey 4-bed house to rear with accommodation in roof and integral double garage together with detached covered parking to front of site.	05.04.13	Cockhoppers	Southgate	422,340.00	5,818.56	NO DEADLINE	Transport for the improvement of existing pedestrian and cycling facilities in the area in connection with the development.	Jonathan Goodson	T&T	CT0303	5,694.74			5,694.74								20.04		5,714.79		5,714.79	Payment recently received and potentially allocated to greenways cycle route during 15/16.		
M & A Economides & Bank of Scotland	41 Beech Hill Barnet EN4 0PW P12-00707PLA	Demolition of existing dwellinghouse and construction of a total of 7 residential units, comprising a 3-storey block of 6 x 2-bed self-contained flats with basement and roof level accommodation, rear balconies and terraces and basement car parking, and a detached 2-storey 4-bed house to rear with accommodation in roof and integral double garage together with detached covered parking to front of site.	05.04.13	Cockhoppers	Southgate	422,340.00	22,500.00	NO DEADLINE	\$106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303																			
TOTAL						422,340.00	422,340.00						11,389.48			11,389.48															
Beacon Securities Limited	495, GREEN LANES, LONDON, N13 4BS	Conversion of single family dwelling into 2 flats comprising 2 x 2 bed and formation of recessed roof terrace.	30.09.13	Winchmore Hill	Southgate	1,859.98	1,859.98	NO DEADLINE	Learning and Skills Facilities Contribution to provide additional educational facilities as required as a consequence of the development.	Anna Loughlin	BED	CT0348		1,859.78		1,859.78									6.60		1,866.38		1,866.38	Payment allocated to fund Jobsent in 14/15.	
TOTAL						1,859.98	1,859.98							1,859.78		1,859.78									6.60		1,866.38		1,866.38		
Nottingham Housing Trust	Relating to the development at the corner of Milton Grove and Chaucer Close London N11 1AU	Erection of a 4-bed detached single family dwelling house with a rear dormer window and off street parking at front.	28.08.13	Southgate Green	Southgate	11,979.43		Non Monetary	Affordable Housing	Sarah Carter	Development & Estates Renewal Council Homes																				
Nottingham Housing Trust	Relating to the development at the corner of Milton Grove and Chaucer Close London N11 1AU	Erection of a 4-bed detached single family dwelling house with a rear dormer window and off street parking at front.	28.08.13	Southgate Green	Southgate	11,979.43	11,408.98		Education to provide additional educational facilities as required as a consequence of the development.	Keith Rowley	EDU	CT4444	0.00			0.00														Payment recently received and relevant department notified for allocation.	
Nottingham Housing Trust	Relating to the development at the corner of Milton Grove and Chaucer Close London N11 1AU	Erection of a 4-bed detached single family dwelling house with a rear dormer window and off street parking at front.	28.08.13	Southgate Green	Southgate	11,979.43	570.45	NO DEADLINE	\$106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN																				
TOTAL						11,979.43	11,979.43						0.00			0.00															
Notting Hill Housing	Site 5 Land Adjacent to 83 Palminton Road	Demolition of existing building and construction of a terrace 3 x 3 bed single family dwellings with rear dormers, off street parking to front, cycle parking, landscaping, amenity space and boundary fencing.		TBC	Palmer Green	Southgate			Non Monetary							22,766.91														Within 10 years of the receipt of payment (incl July 2015). Education to provide additional educational facilities as required as a consequence of the development.	

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Constituency	Total financial obligation	Obligation Split	SPEND DEADLINE - BE119 - Permit Comm. ED + 154 12/15/2014	Details of Obligations	LEAD OFFICER	Team	CT ACCOUNT	14/15 Opening Balance	IN YEAR RECEIPTS	IN YEAR MOVEMENT	CURRENT BALANCE Split - includes in year	PPV RECEIPTS - For Week Dates ON A CODES 14	COMMITMENTS - ON A CODES	Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Drawdown	Quarter 4 Drawdown	Total Drawdown	Interest	Contingency	Available Balance After SAP Transactions	Other S106 Commitments (not yet on SAP) - SM	Available Uncommitted Amount - SM	Comments					
London and Quadrant Housing Trust	Former Cat Hill Campus, Middlesex University Hospital Site Barret EMA 84U P12-0226PLA	Demolition of existing buildings and redevelopment of site to provide a total of 231 residential units comprising 162 self contained flats and 69 houses comprising the following break down: Block (A) 3/4 storey with balconies (10units: 2x1 bed and 8x2 bed), Blocks B, C, D, E, F, which are part 4/5 storey which incorporates the part ground floor semi basement parking for these 4 blocks) as well as projecting lift shaft stair case elements above these blocks and recessed balconies. Block B	01.10.13	Cockfosters		1,310,400.00	176,500.00	Within 18 years of the receipt of payment	Highway Contribution for Highway Mitigation Works including two pedestrian crossings, a cycle path linkage to the local shops, greenway network infrastructure, pedestrian footway improvements & Cat Hill roundabout	Dominic Miles	T&T	CT0374																	50% due on commencement of development. Recently received and allocated to department. The remaining 50% due on occupation of any market or affordable unit.					
London and Quadrant Housing Trust	Former Cat Hill Campus, Middlesex University Hospital Site Barret EMA 84U P12-0226PLA	Demolition of existing buildings and redevelopment of site to provide a total of 231 residential units comprising 162 self contained flats and 69 houses comprising the following break down: Block (A) 3/4 storey with balconies (10units: 2x1 bed and 8x2 bed), Blocks B, C, D, E, F, which are part 4/5 storey which incorporates the part ground floor semi basement parking for these 4 blocks) as well as projecting lift shaft stair case elements above these blocks and recessed balconies. Block B	01.10.13	Cockfosters		1,310,400.00	3,500.00	Within 18 years of the receipt of payment	Travel Plan	Safia Ishag/Rachael Buck	T&T																		Due prior to occupation					
London and Quadrant Housing Trust	Former Cat Hill Campus, Middlesex University Hospital Site Barret EMA 84U P12-0226PLA	Demolition of existing buildings and redevelopment of site to provide a total of 231 residential units comprising 162 self contained flats and 69 houses comprising the following break down: Block (A) 3/4 storey with balconies (10units: 2x1 bed and 8x2 bed), Blocks B, C, D, E, F, which are part 4/5 storey which incorporates the part ground floor semi basement parking for these 4 blocks) as well as projecting lift shaft stair case elements above these blocks and recessed balconies. Block B	01.10.13	Cockfosters		1,310,400.00	62,400.00	Within 18 years of the receipt of payment	S106 Monitoring Fee	Joanne Woodward	STRATEGIC PLANNING AND DESIGN																							
TOTAL						1,310,400.00	1,310,400.00																											
Mohammed Moir Ali							210,571.13		Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield	Sarah Carter	Development & Estates Renewal - Council Homes																							
Mohammed Moir Ali	387 Cockfosters Road Enfield EN4 5US P13-03013PLA	Demolition of existing dwelling-house and erection of a 2-storey block of 6 x 2 bed self-contained flats, incorporating accommodation in basement and roof space, rear balconies and terraces, basement car parking, provision of associated surface car parking together with detached refuse building to front of site	03.06.14	Cockfosters	Southgate	251,900.70	9,279.90		Education to provide additional educational facilities within the borough recommended by the development	Keith Rowley	EDU	CT0385		9,279.90								9,279.90	9,279.90		13.60	13.60								
Mohammed Moir Ali							32,049.67		S106 Management Fee	Joanne Woodward	STRATEGIC PLANNING AND DESIGN																							
TOTAL						251,900.70	251,900.70							9,279.90								9,279.90	9,279.90											
Hemunji Ramparsad	33-35 Fox Lane, Palmers Green London N13 4AB, P12-02318PLA	Conversion of property into 4 self contained flats comprising 2 x1 bed and 2 x 2 bed involving single storey rear extension, extension to roof at side involving side dormer windows.	19.01.15	Palmers Green		3,000.00	3,000.00	No deadline	Travel Plan Monitoring Fee	Safia Ishag/Rachael Buck	T&T	CT0307	Please see Travel Plan tab																The balance is displayed in the travel plan tab.					
TOTALS						3,000.00	3,000.00																											
Southgate Town Hall (Developer) Holybrook Limited (Guarantor)	Southgate Town Hall and land to the rear of Southgate Town Hall, 251 Green Lanes N13 4XD P14-00291PLA	Erection of a part 3, part 4-storey block of 18 residential units	03.09.14	Palmers Green	Southgate	80,601.15	3,927.00	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield	Sarah Carter	Development & Estates Renewal - Council Homes																		Due in two instalments - 1st instalment paid Nov 2014, 2nd to be paid Sept 2015					
							27,425.00		Carbon Fund Contribution	Rob Singleton	DM																		Carbon Fund Contribution to be paid alongside 2nd instalment of Market Housing contribution (TIC, in 2016)					
							3,838.15		Market Housing Education Contribution	Keith Rowley	EDU	CT0463		13,712.50									13,712.50	13,712.50					Due in two instalments, invoice sent 25.02.15 for the 1st 50% (13,712.50), 2nd instalment due in 2016 (late date TIC) alongside carbon fund payment.					
									S106 Management Fee	Jo Woodward	STRATEGIC PLANNING AND DESIGN	CT0303																	PAID NOV 2014.					
TOTAL FOR SOUTHGATE_43						80,601.15	30,690.15							13,712.50																				
TOTAL FOR SOUTHGATE_43						80,601.15	30,690.15								13,712.50																			
TOTAL FOR CONSTITUENCY						17,720,328.95	17,720,319.85								631,472.83	33,000.00								9,048.00	44,576.50	239,269.94	818,949.53	1,111,834.87	11,313.18	655.97	2,579,046.37	1,241,802.41	1,336,978.64	
SUMMARY																																		
T&T Contingency									T&T CONTINGENCY			CT0302	31,547.28																	31,547.28				
General Contingency									GENERAL CONTINGENCY			CT0300	66,444.58	383.71							4,913.69	4,913.69		232.20					66,828.29					
Education Contingency									EDUCATION CONTINGENCY			CT0301	2,948.18												10.32	216.45				2,968.58				
Regeneration Contingency									REGENERATION CONTINGENCY			CT0306	13,888.04												1,633.04	1,633.04	55.44			14,333.44	13,888.04	0.00	Allocated to fund jobs for 14/15	
TOTAL CONTINGENCY													118,828.07		383.71										6,523.73	6,223.73	406.94	272.36	111,963.15	13,888.04	65,811.31			
Management Fee									MANAGEMENT FEE			CT0303	364,157.11	164,858.54											140,000.00	140,000.00	1,725.50			390,741.11		329,033.65		
Affordable Housing									AFORDABLE HOUSING			CT0304	1,600,625.77	857,759.42													7,832.87			2,466,217.76	1,600,625.77	857,759.42	A DAAR was signed 25/7/14 to commit full £1.6m balance at end of 2014/15. Form authorised 24/03/15	
Carbon Fund									CARBON FUND			CT0305	107,249.77																	107,249.77				
NEW S106s									NEW S106 PROJECTS																									
Travel Plan									TRAVEL PLAN			CT0307	5,489.56		20,524.77	22,014.30																		
S106 TOTAL						17,720,340.95							5,275,109.50	1,654,080.79	17,031.52	6,934,820.98						9,048.00	44,576.50	248,169.94	972,964.26	1,274,308.70	21,896.23	363.71	5,725,832.58	2,922,936.18	2,802,626.53			
ADD non S106 Schemes																																		
Planning Conditions									PLANNING CONDITIONS				64,466.20																	64,466.20	64,469.00	7.20		
Green Horizons	Barbot Estate Redevelopment								GREEN HORIZONS			CT0151	63.19																	63.19				Allocated to Green Towers. Funds drawn down in 13/14
Grand Total						5,338,649.79						TOTAL AS PER SAP	5,338,649.79	1,654,080.79	12,031.52	6,979,646.06						9,048.00	44,576.50	248,169.94	972,964.26	1,274,308.70	21,896.23	363.71	5,725,832.58	2,922,936.18	2,802,664.40			

S1 Midwater Properties Plc				S1 Midwater Properties Plc				S1 Midwater Properties Plc				S1 Midwater Properties Plc				S1 Midwater Properties Plc				S1 Midwater Properties Plc				S1 Midwater Properties Plc						
Item	Value	Category	Description	Value	Category	Description	Value	Category	Description	Value	Category	Description	Value	Category	Description	Value	Category	Description	Value	Category	Description	Value	Category	Description	Value	Category	Description	Value	Category	Description
1	£1,200,000	Investment	Acquisition of 100% of the shares of S1 Midwater Properties Plc from the former owner.	£1,200,000	Investment	Acquisition of 100% of the shares of S1 Midwater Properties Plc from the former owner.																								
2	£500,000	Capital Expenditure	Renovation and refurbishment of the existing premises at 100, Old Street, London EC1A 3DF.	£500,000	Capital Expenditure	Renovation and refurbishment of the existing premises at 100, Old Street, London EC1A 3DF.																								
3	£200,000	Operating Expenses	Professional fees, legal costs, and other expenses incurred in connection with the acquisition.	£200,000	Operating Expenses	Professional fees, legal costs, and other expenses incurred in connection with the acquisition.																								
4	£700,000	Working Capital	Initial working capital requirement for the first year of operations.	£700,000	Working Capital	Initial working capital requirement for the first year of operations.																								
TOTALS	£2,600,000			£2,600,000																										
5	£1,000,000	Investment	Acquisition of 100% of the shares of S1 Midwater Properties Plc from the former owner.	£1,000,000	Investment	Acquisition of 100% of the shares of S1 Midwater Properties Plc from the former owner.																								
6	£500,000	Capital Expenditure	Renovation and refurbishment of the existing premises at 100, Old Street, London EC1A 3DF.	£500,000	Capital Expenditure	Renovation and refurbishment of the existing premises at 100, Old Street, London EC1A 3DF.																								
7	£200,000	Operating Expenses	Professional fees, legal costs, and other expenses incurred in connection with the acquisition.	£200,000	Operating Expenses	Professional fees, legal costs, and other expenses incurred in connection with the acquisition.																								
8	£700,000	Working Capital	Initial working capital requirement for the first year of operations.	£700,000	Working Capital	Initial working capital requirement for the first year of operations.																								
TOTALS	£2,400,000			£2,400,000																										

32 Status	33 Name	34 Description	35 Date	36 Amount	37 Period	38 Location	39 Available Funding	40 Contact	41 HHSAC	42 Comment	43 Priority
	GA Shared Investments	Comparison of existing public housing units with private rental units to determine if there are any areas where private rental units would be more appropriate than public housing units. This study will be completed by the end of the fiscal year 2010. The results of this study will be used to inform the development of a strategic plan for public housing in Georgia.	12/04/09	11,000.00	12/01/09 - 11/30/10	Atlanta	11,000.00	Boyan Chelvar	HHSAC	Prior to occupancy of the facility	
	Norm Developments Limited	Construction of a new 100-unit apartment building in the city of Atlanta. The project is currently under construction and is expected to be completed by the end of the fiscal year 2011. The results of this project will be used to inform the development of a strategic plan for public housing in Georgia.	12/04/09	20,000.00	12/01/09 - 11/30/10	Atlanta	20,000.00	Lynn Mahoney	HHSAC	Prior to commencement of development	
	Marble Mountain Mall	Construction of a new 100-unit apartment building in the city of Atlanta. The project is currently under construction and is expected to be completed by the end of the fiscal year 2011. The results of this project will be used to inform the development of a strategic plan for public housing in Georgia.	12/04/09	20,000.00	12/01/09 - 11/30/10	Atlanta	20,000.00	Lynn Mahoney	HHSAC	Prior to commencement of development	
	Ocean House & Marina Walk	Construction of a new 100-unit apartment building in the city of Atlanta. The project is currently under construction and is expected to be completed by the end of the fiscal year 2011. The results of this project will be used to inform the development of a strategic plan for public housing in Georgia.	12/04/09	20,000.00	12/01/09 - 11/30/10	Atlanta	20,000.00	Lynn Mahoney	HHSAC	Prior to commencement of development	
	Custom Mail Addressing System	Implementation of a new mail addressing system for the Department of Housing and Urban Development. The project is currently under construction and is expected to be completed by the end of the fiscal year 2011. The results of this project will be used to inform the development of a strategic plan for public housing in Georgia.	12/04/09	10,000.00	12/01/09 - 11/30/10	Atlanta	10,000.00	Lynn Mahoney	HHSAC	Prior to commencement of development	

Northwell Home Ownership Label	Address	Legal Description	Acquire	Value	Market Value	Category	Notes	Category	Value	Market Value	Category	Notes	Category	Value	Market Value	Category	Notes	Category	Value	Market Value	Category	Notes
TOTALS																						
	Michael Decker Becton	Public House 1510 West Street EAST																				
TOTALS																						
	Ally High School	11800 NW 63rd Street NW																				
TOTALS																						
	John O'Neil Becton	LAO ADJACENT TO 84 BR BECK ROAD OFFICE OVERD																				
TOTALS																						
	Southon Park, Becton Limited	19 NORTHBERG ROAD OFFICE OVERD																				
TOTALS																						
	Michael Anthony Becton	111 KILLING LANE OFFICE OVERD																				

Notes: This is a summary of the information provided in the table above. It is not intended to be a substitute for a full review of the records for each property. The information is provided for informational purposes only and should not be used for legal or financial advice. The information is provided as of the date of the records and may change over time. The information is provided for informational purposes only and should not be used for legal or financial advice. The information is provided as of the date of the records and may change over time.

The Project Description	Location	City	Category	Area	Value	When 10 years or more of payment	Open Space contribution from the City of Portland	Notes	MRV Code	RFE	STATUS	Comments
TOTALS					20,000.00							
					20,000.00							
					20,971.00							
Northgate Housing Trust					1,400.00	N/A						
					1,400.00							
TOTALS					11,071.42							
					11,071.42							
810 Phares Blvd & Alameda, Nogg Group					4,118.25							
					4,118.25							
TOTALS					10,000.00							
					10,000.00							
Banker Homes of Portland & Banker Homes of Seattle					3,140.00							
					3,140.00							
TOTALS					13,140.00							
					13,140.00							
Banker Homes of Portland & Banker Homes of Seattle					5,350.00							
					5,350.00							
TOTALS					18,490.00							
					18,490.00							
Royal Bank of Scotland P.C. & Newco Connections					48,371.00							
					48,371.00							
TOTALS					20,951.42							
					20,951.42							
Emmald Avenue, Grand Park Hotel, Fremont					3,000.00							
					3,000.00							
TOTALS					24,951.42							
					24,951.42							
Pearl Street, Bank of America					2,500.00							
					2,500.00							
TOTALS					27,451.42							
					27,451.42							
Westview Address and Home show Address					6,000.00							
					6,000.00							
TOTALS					33,451.42							
					33,451.42							

Company Name	Investment Description	Start Date	End Date	Value	Category	Key Metrics	Notes
KPI Project Investments Ltd	Education Research	1/2018	31/12/2018	100,000	EDUCATION	100%	To provide additional educational facilities within the region
		1/2019	31/12/2019	100,000	EDUCATION	100%	To provide additional educational facilities within the region
KPI Project Investments Ltd	Education Research	1/2019	31/12/2019	100,000	EDUCATION	100%	To provide additional educational facilities within the region
		1/2020	31/12/2020	100,000	EDUCATION	100%	To provide additional educational facilities within the region
KPI Project Investments Ltd	Education Research	1/2020	31/12/2020	100,000	EDUCATION	100%	To provide additional educational facilities within the region
		1/2021	31/12/2021	100,000	EDUCATION	100%	To provide additional educational facilities within the region
KPI Project Investments Ltd	Education Research	1/2021	31/12/2021	100,000	EDUCATION	100%	To provide additional educational facilities within the region
		1/2022	31/12/2022	100,000	EDUCATION	100%	To provide additional educational facilities within the region
KPI Project Investments Ltd	Education Research	1/2022	31/12/2022	100,000	EDUCATION	100%	To provide additional educational facilities within the region
		1/2023	31/12/2023	100,000	EDUCATION	100%	To provide additional educational facilities within the region
KPI Project Investments Ltd	Education Research	1/2023	31/12/2023	100,000	EDUCATION	100%	To provide additional educational facilities within the region
		1/2024	31/12/2024	100,000	EDUCATION	100%	To provide additional educational facilities within the region
KPI Project Investments Ltd	Education Research	1/2024	31/12/2024	100,000	EDUCATION	100%	To provide additional educational facilities within the region
		1/2025	31/12/2025	100,000	EDUCATION	100%	To provide additional educational facilities within the region
KPI Project Investments Ltd	Education Research	1/2025	31/12/2025	100,000	EDUCATION	100%	To provide additional educational facilities within the region
		1/2026	31/12/2026	100,000	EDUCATION	100%	To provide additional educational facilities within the region
KPI Project Investments Ltd	Education Research	1/2026	31/12/2026	100,000	EDUCATION	100%	To provide additional educational facilities within the region
		1/2027	31/12/2027	100,000	EDUCATION	100%	To provide additional educational facilities within the region
KPI Project Investments Ltd	Education Research	1/2027	31/12/2027	100,000	EDUCATION	100%	To provide additional educational facilities within the region
		1/2028	31/12/2028	100,000	EDUCATION	100%	To provide additional educational facilities within the region
KPI Project Investments Ltd	Education Research	1/2028	31/12/2028	100,000	EDUCATION	100%	To provide additional educational facilities within the region
		1/2029	31/12/2029	100,000	EDUCATION	100%	To provide additional educational facilities within the region
KPI Project Investments Ltd	Education Research	1/2029	31/12/2029	100,000	EDUCATION	100%	To provide additional educational facilities within the region
		1/2030	31/12/2030	100,000	EDUCATION	100%	To provide additional educational facilities within the region

Project Name	Address	City	County	Phase	Start Date	End Date	Value	Notes	Contractor	Permit Type	Permit Status	Comments
Palmer Home Homes (Chester) WY11 Ltd	2100 W. 1st St	Wilmington	DE	Construction	2014	2015	20,000,000	Construction of 200 single family units in 2 phases. Phase 1 is complete and Phase 2 is under construction.	Wilmington Construction Co.	Residential	Issued	Phase 1 is complete and Phase 2 is under construction.
Conrad Ltd. (Bridgely) Properties and Construction	1000 S. 1st St	Wilmington	DE	Construction	2015	2016	10,000,000	Construction of 100 single family units in 2 phases. Phase 1 is complete and Phase 2 is under construction.	Wilmington Construction Co.	Residential	Issued	Phase 1 is complete and Phase 2 is under construction.
Arroyo (Wilmington)	1000 S. 1st St	Wilmington	DE	Construction	2015	2016	10,000,000	Construction of 100 single family units in 2 phases. Phase 1 is complete and Phase 2 is under construction.	Wilmington Construction Co.	Residential	Issued	Phase 1 is complete and Phase 2 is under construction.
Harbor Homes and Housing Co.	1000 S. 1st St	Wilmington	DE	Construction	2015	2016	10,000,000	Construction of 100 single family units in 2 phases. Phase 1 is complete and Phase 2 is under construction.	Wilmington Construction Co.	Residential	Issued	Phase 1 is complete and Phase 2 is under construction.
Bonnie Properties Ltd	1000 S. 1st St	Wilmington	DE	Construction	2015	2016	10,000,000	Construction of 100 single family units in 2 phases. Phase 1 is complete and Phase 2 is under construction.	Wilmington Construction Co.	Residential	Issued	Phase 1 is complete and Phase 2 is under construction.
Ruf Developments Ltd & Capital Fund Ltd	1000 S. 1st St	Wilmington	DE	Construction	2015	2016	10,000,000	Construction of 100 single family units in 2 phases. Phase 1 is complete and Phase 2 is under construction.	Wilmington Construction Co.	Residential	Issued	Phase 1 is complete and Phase 2 is under construction.
Empire Assets	1000 S. 1st St	Wilmington	DE	Construction	2015	2016	10,000,000	Construction of 100 single family units in 2 phases. Phase 1 is complete and Phase 2 is under construction.	Wilmington Construction Co.	Residential	Issued	Phase 1 is complete and Phase 2 is under construction.
Secretary of State for Communities and Local Government	1000 S. 1st St	Wilmington	DE	Construction	2015	2016	10,000,000	Construction of 100 single family units in 2 phases. Phase 1 is complete and Phase 2 is under construction.	Wilmington Construction Co.	Residential	Issued	Phase 1 is complete and Phase 2 is under construction.
Wynona Partners, Wynona State and Wynona Bank	1000 S. 1st St	Wilmington	DE	Construction	2015	2016	10,000,000	Construction of 100 single family units in 2 phases. Phase 1 is complete and Phase 2 is under construction.	Wilmington Construction Co.	Residential	Issued	Phase 1 is complete and Phase 2 is under construction.

Client Name	Project Name	Project Description	Site Address	Area	Phase	Start Date	End Date	Value	Notes	Client Ref	Project Ref	Project Manager	Project Status
TOTALS								70 000.00					
Shing Shi Property Limited		Development of existing building and construction of a new 2-3 storey building with existing parking and existing building	151 Lonsdale Street, London N1 6LJ	Phase 1, 2, 3	Phase 1, 2, 3	2014	2015	2 400 000.00				J Woodward	On commencement of development
TOTALS								2 400 000.00					
Investment Agency		Proposed development on site of former Lloyds Bank building, including the construction of a new 10 storey building with existing parking and existing building	100 Abchurch Lane, London EC4N 3DF	Phase 1, 2, 3	Phase 1, 2, 3	2014	2015	3 000 000.00				J Woodward	On commencement of development
TOTALS								3 000 000.00					
Tottenham Limited and Barclay Bank		Development of a new 10 storey building with existing parking and existing building	100 Tottenham Court Road, London W1P 0LP	Phase 1, 2, 3	Phase 1, 2, 3	2014	2015	1 000 000.00				J Woodward	On commencement of development
TOTALS								1 000 000.00					
Brown James Bell and Lend Lease Property		Development of a new 10 storey building with existing parking and existing building	100 Tottenham Court Road, London W1P 0LP	Phase 1, 2, 3	Phase 1, 2, 3	2014	2015	2 200 000.00				J Woodward	On commencement of development
TOTALS								2 200 000.00					
Anglo Irish Finance (South East) Limited		Development of a new 10 storey building with existing parking and existing building	100 Tottenham Court Road, London W1P 0LP	Phase 1, 2, 3	Phase 1, 2, 3	2014	2015	1 000 000.00				J Woodward	On commencement of development
TOTALS								1 000 000.00					
Palace Management LLP		Development of a new 10 storey building with existing parking and existing building	100 Tottenham Court Road, London W1P 0LP	Phase 1, 2, 3	Phase 1, 2, 3	2014	2015	1 000 000.00				J Woodward	On commencement of development
TOTALS								1 000 000.00					
Devon Property and Lot 15 Limited		Development of a new 10 storey building with existing parking and existing building	100 Tottenham Court Road, London W1P 0LP	Phase 1, 2, 3	Phase 1, 2, 3	2014	2015	2 200 000.00				J Woodward	On commencement of development
TOTALS								2 200 000.00					

Entity	Item Description	Quantity	Unit Price	Total Price	Notes	Item Code	Category	Accounting Code	Comments																					
Gibsonville Limited	Building Cost Alpha Street Station N/W	1.00 EA	1,077.72	1,077.72		117 201 20	SECT	SECT																						
	TOTAL		1,077.72	1,077.72																										
Alpha Street and Arndt Street	1 Concrete Check Station N/W (R/W)	1 EA	21,400.00	21,400.00		2 70 00	SECT	SECT																						
	TOTAL		21,400.00	21,400.00																										
Boulevard Town Hall (Development)	1 Concrete Check Station N/W (R/W)	1 EA	2,400.00	2,400.00		2 40 00	SECT	SECT																						
	TOTAL		2,400.00	2,400.00																										
Boulevard Town Hall (Development)	1 Concrete Check Station N/W (R/W)	1 EA	4,411.00	4,411.00		4 41 00	SECT	SECT																						
	TOTAL		4,411.00	4,411.00																										
Boulevard Town Hall (Development)	1 Concrete Check Station N/W (R/W)	1 EA	3,827.00	3,827.00		3 82 00	SECT	SECT																						
	TOTAL		3,827.00	3,827.00																										
Boulevard Town Hall (Development)	1 Concrete Check Station N/W (R/W)	1 EA	2,400.00	2,400.00		2 40 00	SECT	SECT																						
	TOTAL		2,400.00	2,400.00																										
<table border="1"> <tr> <td>117 201 20</td> <td>1,077.72</td> <td>1,077.72</td> </tr> <tr> <td>2 70 00</td> <td>21,400.00</td> <td>21,400.00</td> </tr> <tr> <td>2 40 00</td> <td>2,400.00</td> <td>2,400.00</td> </tr> <tr> <td>4 41 00</td> <td>4,411.00</td> <td>4,411.00</td> </tr> <tr> <td>3 82 00</td> <td>3,827.00</td> <td>3,827.00</td> </tr> <tr> <td>2 40 00</td> <td>2,400.00</td> <td>2,400.00</td> </tr> <tr> <td>TOTAL</td> <td>36,515.72</td> <td>36,515.72</td> </tr> </table>										117 201 20	1,077.72	1,077.72	2 70 00	21,400.00	21,400.00	2 40 00	2,400.00	2,400.00	4 41 00	4,411.00	4,411.00	3 82 00	3,827.00	3,827.00	2 40 00	2,400.00	2,400.00	TOTAL	36,515.72	36,515.72
117 201 20	1,077.72	1,077.72																												
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117 201 20	1,077.72	1,077.72
2 70 00	21,400.00	21,400.00
2 40 00	2,400.00	2,400.00
4 41 00	4,411.00	4,411.00
3 82 00	3,827.00	3,827.00
2 40 00	2,400.00	2,400.00
TOTAL	36,515.72	36,515.72